

APOPKA CITY COUNCIL AGENDA
April 04, 2018 1:30 PM
APOPKA CITY HALL COUNCIL CHAMBERS
Agendas are subject to amendment through
5:00pm on the day prior to City Council Meetings

CALL TO ORDER

INVOCATION - Pastor Larry Baucom of Park Avenue Church of God

PLEDGE

APPROVAL OF MINUTES:

1. City Council workshop meeting January 26, 2018.
2. City Council regular meeting February 21, 2018
3. City Council regular meeting March 07, 2018

AGENDA REVIEW:

PUBLIC COMMENT; STAFF RECOGNITION AND ACKNOWLEDGEMENT

Proclamations:

1. April Water Conservation Month Proclamation

Mayor Joe Kilsheimer

Employee Recognition:

- ❖ Five Year Service Award – Keith Tincher – Public Services/Cemetery
- ❖ Five Year Service Award – Jason Brown – Public Services/Waste Water Plant
- ❖ Ten Year Service Award – Andrew “Drew” Parkinson – Police/Support Services

Public Comment Period:

The Public Comment Period is for City-related issues that may or may not be on today's Agenda. If you are here for a matter that requires a public hearing, please wait for that item to come up on the agenda. If you wish to address the Council, you must fill out an Intent to Speak form and provide it to the City Clerk prior to the start of the meeting. If you wish to speak during the Public Comment Period, please fill out a green-colored Intent-to-Speak form. If you wish to speak on a matter that requires a public hearing, please fill out a white-colored Intent-to-Speak form. Speaker forms may be completed up to 48 hours in advance of the Council meeting. Each speaker will have four minutes to give remarks, regardless of the number of items addressed. Please refer to Resolution No. 2016-16 for further information regarding our Public Participation Policy & Procedures for addressing the City Council.

CONSENT (Action Item)

1. Approve the emergency purchase of a replacement standby generator for the Bradshaw Road Lift Station #77.
2. Approve the purchase of a bypass pump for the Forest Avenue Lift Station 17.
3. Award a Street Resurfacing Project to Orlando Paving Company.
4. Approve the final extension for wastewater residuals transport and disposal with Shelley's Environmental Systems.

BUSINESS (Action Item)

1. Final Development Plan – Self Help Credit Union Jean Sanchez
Project: Self Help Credit Union c/o Randy Chambers – Located at 667 West Orange Blossom Trail
2. Final Development Plan/Plat – Zarabrooke Subdivision Bobby Howell
Project: Zarabrooke, LLC, c/o Barry Kalmanson – Located at 829 Paradiso Court

PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

1. Ordinance No. 2635 – Second Reading - Comprehensive Plan Amendment – Small Scale – Legislative Phil Martinez
Project: Kenney Harry Charles McAllister - Located on the Northwest corner of North Hermit Smith Road, U.S. 441 intersection
2. Ordinance No. 2636 – Second Reading - Change of Zoning – Quasi-Judicial Phil Martinez
Project: Kenney Harry Charles McAllister - Located on the Northwest corner of North Hermit Smith Road, U.S. 441 intersection
3. Ordinance No. 2637 – Second Reading - Change of Zoning Bobby Howell
PUD Master Plan/Preliminary Development Plan - Quasi-Judicial
Project: City of Apopka, James D. & Deborah M. Lyda, & Citizens Bank of Florida - Located on Johns Road, west of S.R.

- 4. Ordinance No. 2639 – First Reading - Change of Zoning – Oak Pointe David Moon
Project: Jason C. Revelle & Thompson Hills Estates, LLC - Located east of SR429, north of McCormick Road.
- 5. Ordinance No. 2640 – First Reading – Annexation Jean Sanchez
Project: Janine R. & Richard D. Edmondson - Located at 3904 Plymouth Sorrento Road.
- 6. Ordinance No. 2641 – First Reading – Annexation Jean Sanchez
Project: Lynn R. Fontaine - Located at 4353 McDonald Gley Road
- 7. Ordinance No. 2642 – First Reading – Annexation Jean Sanchez
Project: SunTrust Bank - Located at 920 East Semoran Boulevard
- 8. Ordinance No. 2643 – First Reading - Annexation – Right-of-Way Pamela Richmond
Project: A – Orange County - King Street Right-of-Way
Project: B – Orange County – Peterson Road (east of SR 429)
Project: C – Orange County – Peterson Road (west of SR 429)
- 9. Resolution 2018-04 Rolloff franchise agreement Container Rental Company Jay Davoll
- 10. Resolution 2018-05 Rolloff franchise agreement Waste Pro USA, Inc. Jay Davoll
- 11. Resolution 2018-06 Rolloff franchise agreement Randy Suggs, Inc. Jay Davoll

CITY COUNCIL REPORTS

MAYOR’S REPORT

ADJOURNMENT

MEETINGS AND UPCOMING EVENTS

DATE	TIME	EVENT
April 4, 2018	1:30pm –	City Council Meeting
April 5, 2018	5:30pm – 9:00pm	Food Truck Round Up
April 9, 2018	6:30pm –	CONA Meeting – UCF Apopka Business Incubator
April 10, 2018	5:30pm –	Planning Commission Meeting
April 10, 2018	7:00am – 7:00pm	Apopka Runoff Election – Seat #2
April 11, 2018	5:30pm –	Special City Council Meeting – Errol Estates @ 519 S. Central Ave.
April 13, 2018	7:00pm – 9:30pm	Movie in the Park – Cars 3 – Kit Land Nelson Park
April 18, 2018	7:00pm –	City Council Meeting
April 21, 2018	9:00am – 12:00pm	12 th Annual Apopka Health & Fitness Fair – Fran Carlton Center
April 23, 2018	10:00am –	Lake Apopka Natural Gas District Board Meeting: Winter Garden
April 24, 2018	12:00pm –	Inauguration – Mayor & City Council Seats #1 & #2
May 2, 2018	1:30pm –	City Council Meeting
May 3, 2018	5:30pm – 9:00pm	Food Truck Round Up
May 8, 2018	5:30pm –	Planning Commission Meeting
May 14, 2018	6:30pm –	CONA Meeting – UCF Apopka Business Incubator
May 16, 2018	7:00pm –	City Council Meeting
May 28, 2018	-	Memorial Day - City Offices Closed
May 28, 2018	10:00am –	Lake Apopka Natural Gas District Board Meeting: Winter Garden

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

CITY OF APOPKA

Minutes of the City Council workshop held on January 26, 2018, at 9:00 a.m., in the City of Apopka Council Chambers.

PRESENT: Mayor Joe Kilsheimer
Commissioner Billie Dean
Commissioner Diane Velazquez
Commissioner Doug Bankson
City Administrator Glenn Irby

ABSENT: Commissioner Kyle Becker

PRESS PRESENT: Teresa Sargeant - The Apopka Chief
Reggie Connell, The Apopka Voice

INVOCATION: - Mayor Kilsheimer introduced Pastor Mark Lowry of Grace Point Church, who gave the invocation.

PLEDGE OF ALLEGIANCE: Mayor Kilsheimer led in the Pledge of Allegiance.

DISCUSSION:

1. Kit Land Nelson Park proposed Splash Pad options presented by Freeport Fountains, LLC.

Mayor Kilsheimer said we were here to meet in a workshop session to have a presentation from Freeport Fountains, LLC on the proposed Splash Pad.

Glenn Irby, City Administrator, said this project has been out to bid three different times. He stated we finally came to a good accord with Freeport Fountains, LLC. Staff has spent time evaluating what they can bring to the table and they were willing to bring a presentation before Council this morning. He advised there is a budget on this project of \$613,090 and of this \$544,000 is budgeted for the Splash Pad. He reported certain items have been pulled out such as tables, trash bins, and benches that the city can purchase directly with a savings, and there is also demolition of the tennis courts net at \$18,000. He affirmed there was money in contingencies should they run into something they are not aware of.

Jon Vollet, President of Freeport Fountains, LLC, said they were based in Sanford and do work throughout the state as well as throughout the world. He advised they have been doing this type of work for 35 years, creating different fountains and water features and they are very versed and focused. They have in house engineering services and like to do a turnkey construction. He stated they have been working with the committee who made some selections based on information they provided. The committee selected a couple of themes and asked Freeport Fountains to put together options on two of the themes.

Mr. Vollet reviewed the first option which was the Ocean and Seashore theme. This theme had a lot of play structures that drop and spray water with fish sculptures and sea creatures. This and the other themes have the dumping bucket that fills and drops water as the central feature. This

theme has a cannon that sprays, and all have ground sprays. He advised that option one had a total of 30 elements and the saturation is 204 gallons per minutes which would allow 40 persons on the pad. The second option is similar, but the theme changes to a nature theme. Again, it has the large dumping bucket with other elements that are nature pieces such as leaves, flowers, spraying tubes and a snail. This option has 29 pieces of spray and play elements. The saturation is 194 gallons per minute.

Mr. Vollet advised they prepared a third option. This option has less play structures and more in ground sprays. It does have the dumping bucket like the other two options, four bazooka sprays, a spray zone with ground sprays in a circular pattern and other small buckets that fill and dump over. This option has more in the hydraulic system, has a total of 32 elements, and it has a saturation of 301 gallons per minute that allows 60 persons on the pad.

In response to Commissioner Bankson inquiring about hours of operation and if the sprays were triggered by play in action, Mr. Vollet advised the hours of operation can be between dawn to dusk and hours can be set by the City. He stated there had to be specified lighting in order to operate at night. He advised that each operation has a swipe that turns the feature on so that the entire system is not running all day long and a time clock would keep it from coming on at night. The filtration system does run 24/7. He also said the years of service would depend on how good the maintenance is to the system, stating some pumps last 15 to 20 years. He advised the deck coating is acrylic, similar to the deck of swimming pools.

Mayor Kilsheimer said the third option is a blend of the other two with more sprays.

Commissioner Velazquez said while she was at an elementary school yesterday reading to students, she took a poll. The students went for option three because of the amount of water.

In response to Mayor Kilsheimer inquiring about the leaves dropping from the oak trees, Mr. Vollet said staff will need to blow the leaves every day during the fall. He said they should not clog the filter or drains.

Discussion was held regarding maintenance and Jessica Pugh, Administrative Assistant to the City Administrator, advised there was a maintenance schedule provided, they would just need to break down the cost affiliated with it.

Lorena Potter inquired if the splash pad is operated seasonally, can the system be shut down for lower maintenance. She inquired what other municipalities do.

Mr. Vollet advised other areas that run seasonally lock the gate, but allow the system to circulate. He said in Florida it could be open year round. He advised this would require the water to be tested at least daily. This is not required by a certified technician and can be conducted by staff. There does have to be a certified pool operator or a licensed pool contractor to do the overall maintenance.

Discussion pursued regarding whether to fence the area as well as charging for use.

Mayor Kilsheimer said there would not be a vote today, but he is hearing that option three is the

avored option. He also said if construction is to begin in the spring, there is a major event in Kit
Land Nelson Park the final weekend in April and he asked that they maintain safety so that the
festival is a successful event.

ADJOURNMENT – There being no further business the meeting adjourned at 10:25 a.m.

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda F. Goff, City Clerk

CITY OF APOPKA

Minutes of the regular City Council meeting held on February 21, 2018, at 7:00 p.m., in the City of Apopka Council Chambers.

PRESENT: Mayor Joe Kilsheimer
Commissioner Billie Dean
Commissioner Diane Velazquez
Commissioner Kyle Becker
Commissioner Doug Bankson
City Attorney Cliff Shepard
City Administrator Glenn Irby

PRESS PRESENT: Teresa Sargeant - The Apopka Chief
Reggie Connell, The Apopka Voice

INVOCATION: - Mayor Kilsheimer introduced Pastor James Hicks of Center of Faith Church who gave the invocation.

PLEDGE OF ALLEGIANCE: Mayor Kilsheimer said on February 26, 1940, Apopka Fire Chief Fred Risener appealed to the City Council to reorganize the Volunteer Fire Department by allowing him to name a group of men to serve as assistants to the Fire Chief. The six men selected and approved by the Council were Howard Anderson, R.M. Wells, George Kerr, John Risener, J.P. Bowers, and Don Kenney. This reorganization was the first of many steps in establishing the Apopka Fire Department as one of the best in the country. He asked everyone to reflect upon the selfless bravery of our first responders and those who place themselves in harm's way as service to others as he led in the Pledge of Allegiance.

AGENDA REVIEW:

Glenn Irby, City Administrator, said it is requested to move the Proclamation and Presentation to the first item on the agenda. Also, under Public Hearings Ordinances and Resolutions, Item 5, Ordinance 2624 states it is First Reading and it is actually the second reading.

James Hitt, Community Development Director, said the Lake Marshall property, Item 11, which is the rezoning to the PUD, is requested to be postponed to March 21, 2018 and April 4, 2018. This will provide time for the applicant to hold community meetings to answer questions and concerns the residents have in regards to the development. This will also allow for extension of the closing on the property to April 30, 2018.

MOTION by Commissioner Bankson, and seconded by Commissioner Dean to postpone Item 11, Ordinance No. 2637 to March 21, 2018 for the First Reading and April 4, 2018 for the Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

MOTION by Commissioner Becker, and seconded by Commissioner Velazquez to set the closing date no later than April 30, 2018. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

PUBLIC COMMENT/STAFF RECOGNITION AND ACKNOWLEDGEMENT

Proclamations:

1. Future Farmers of America Proclamation was read by Mayor Kilsheimer and presented to Apopka High School, Wekiva High School, Apopka Memorial Middle School, Piedmont Lakes Middle School, and Wolf Lake Middle School.

Presentations:

1. Mayor Kilsheimer advised the City was approached recently by the Carnegie Hero Fund Commission wanting to present the Carnegie Hero Fund Commission Medal to Jason Allen Williams, who rescued Michael J. Bridges from a burning vehicle in Apopka on August 4, 2016, following an accident. Mr. Williams witnessed the accident, stopped to assist and pulled Mr. Bridges from the vehicle. He presented Jason Allen Williams with the Carnegie Hero Commission Medal.

Chief Carnesale spoke of Fire Station Six that was opened on December 3, 2017, in conjunction with Florida Hospital. He said the Fire Department has an award that is the highest possible award for a civilian which is given to any individual on the basis of that citizen performing extraordinary deeds, either by actions displayed in times of crisis or for unselfish service to the citizens of the community. He presented Jason Allen Williams with the Fire Chief Award for his heroic, lifesaving actions at the scene of an accident on August 4, 2016.

Public Comment:

City Attorney Shepard advised that since the Marshall Lake item has been removed from the agenda, those who planned to speak may want to wait until after the community meeting occurs. Council cannot consider these remarks until such time that this comes before them as a quasi-judicial hearing.

Michael Rowe, President of Lake Doe Homeowner's Association, said he was here representing the HOA regarding Lake Marshall. He said this is a very small lake and during the summer it dries up to approximately 40 acres. He expressed concerns of contaminants flushing into the lake and surrounding lakes. He said their plans show a septic pump next to his property which is not pleasing to look at. He stated that page four of their Master Plan states that no residential neighborhoods will be affected by this and that development will not be visible from surrounding properties. He declared this was not true for his neighborhood and this current plan is not beneficial for their neighborhood. He affirmed there was a piece of property he would like to purchase from the city or have it vacated to him since he has been maintaining it for seven years. He requested no motorized boats on the lake, no boat ramp or dock in the new neighborhood.

Nina Rowe expressed concerns about Jackson Pond that she stated was environmentally sensitive and it is protected. She has lived there for 18 years and her home is situated on the southern wetland that this new development is proposing to use as a drainage area. She declared she had many levels of concerns regarding this development including dredging of the lake to put in a storm drain that could result in flooding, and reiterated concerns regarding contamination of the lakes. She also spoke of the wildlife in the area and concerns of their habitat. She asked that the

retention pond be moved and place a landscape barrier between the neighborhoods.

Alan Wood said he lives on Lake Doe Boulevard and has been a resident here since 2001. He stated he has enjoyed this property for over 17 years and has seen it go through multiple changes and water levels change through the hurricanes. He spoke of the wildlife in the area stating these woods are unique within the city limits of Apopka and he would hate to see these woods torn down to have a high density subdivision in their place. He also expressed concerns regarding noise levels and spoke of how S.R. 451 changed the noise in the area. He declared he hoped they would come up with a better plan taking into concern the people that live there and have a vested interest in staying in Apopka.

Pat McGuffin said his concern has been addressed in the past and unanimously dealt with by Council to not allow a public boat ramp on this tiny lake. He stated Council listened to the concerns of the citizens about boat safety and liability to the City. Council voted unanimously to not allow the boat ramp on this lake. At that time there were 90 homes being proposed and now it is triple that amount with 300 homes being proposed. He said the lake was too small back then when Council voted and it is still the same size. He stated to clarify, he was not opposed to the homeowners living directly on the lake having access to the lake. He asked that they choose human life and safety over any money concerns.

Scott Hill said he was two lots north of the proposed development and expressed concern of a community boat ramp and the pollution it would cause. He stated this is a standing water sand hill lake with no fresh water coming into the lake and any runoff with contaminants will stay there. He spoke of privacy issues and noise levels. He said there were some legal issues with regards to ownership as the lake is broken into four different private properties.

Kim Pritchard said she has lived there for 10 years and has seen the water levels change drastically. She stated there are only two motorboats on the lake and she is one of them stating the water becomes so shallow that the motorized boat cannot be used. She spoke of safety issues if all 300 residents of the new development are allowed access to the lake.

Ray Shackelford called upon City Council to develop and pass an ordinance that calls for arrest of any person who threatens Apopka schools on social media. He stated if the City of Orlando can pass such an ordinance, the City of Apopka can do the same. He said he was concerned about some information that was stated at a recent debate that the City of Apopka has \$59 million in city reserves to support the general fund and avoid deficit spending. He asked if this was including the reserves from the enterprise funds that are restricted to avoid deficit spending. He said it needs to be clear and to the point of how much is in the city reserves. He said at a recent Council meeting the Mayor stated letters of apologies were forthcoming related to an insensitive police workshop.

Mayor Kilsheimer said the City requested a letter of apology, but a letter of apology has not been forthcoming. He stated they did not know what else they can do to compel a letter of apology and reiterated that it has been requested.

CONSENT (Action Item)

1. Authorize a donation to the Kid's House Advocacy Center.
2. Resolution for naming signatories on a city money market account at Iberia Bank.

3. Appoint Byron Tobias as Fifth Trustee to the General Employees' Pension Board.
4. Appoint Raymond Thompson as Fifth Trustee to the Firefighters' Pension Board.
5. Appoint James Greene as Fifth Trustee to the Police Officers' Pension Board.

MOTION by Commissioner Dean, and seconded by Commissioner Bankson, to approve five items on the Consent Agenda. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker and Bankson voting aye.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION

1. **Ordinance No. 2600 – Second Reading – Comprehensive Plan Amendment – Large Scale – Project: A.D. Raulerson, Sr., & A.D. Raulerson, Jr. and Curtis & Karen Pumphrey – Located at 251 West Lester Road.** The City Clerk read the title as follows:

ORDINANCE 2600

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” LOW DENSITY RESIDENTIAL TO “CITY” MEDIUM LOW DENSITY RESIDENTIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF ROCK SPRINGS ROAD NORTH OF LESTER ROAD, COMPRISING 23.20 ACRES, MORE OR LESS AND OWNED BY A.D. RAULERSON AND A.D. RAULERSON, JR, CURTIS AND KAREN PUMPHREY; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE..

Mr. Martinez said there have been no changes since the first reading.

In response to Commissioner Becker inquiring if it was okay to vote on this due to the advertising, Mr. Moon said he had discussions with Attorney Hand regarding this and it is a decrease in the intensity from what was advertised, it is not considered to have an impact on adjacent properties, and thus the hearing can proceed.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker, and seconded by Commissioner Velazquez, to adopt Ordinance No. 2600. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker and Bankson voting aye.

2. **Ordinance No. 2634 – First Reading – Change of Zoning – Project: A.D. Raulerson, Sr., & A.D. Raulerson, Jr. and Curtis & Karon Pumphrey – Located at 251 West Lester Road.** The City Clerk read the title as follows:

ORDINANCE 2634

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “CITY” A-1 (ZIP) TO PUD (PLANNED UNIT DEVELOPMENT) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF NORTH ROCK SPRINGS ROAD AND NORTH OF

**EAST LESTER ROAD, COMPRISING 25.39 ACRES MORE OR LESS,
AND OWNED BY ADELBERT RAULERSON, AD RAULERSON, JR. AND
CURTIS AND KAREN PUMPHREY; PROVIDING FOR DIRECTIONS TO
THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY,
CONFLICTS, AND AN EFFECTIVE DATE**

Mayor Kilsheimer announced this was a quasi-judicial hearing. Witnesses were sworn in by the Clerk.

Jean Sanchez, Planner, provided a brief lead-in for this re-zoning request, reviewing the area on the map and surrounding land-uses. The PUD Master Plan proposes a community with 112 single family lots that are 40' wide. There is a proposed 30' buffer to the north and each lot will have two trees. She reviewed the amenities for the project. An additional deviation not included in the staff report is that the wet retention pond will be fenced with a 4' wrought iron fence at the request of city engineer for safety precautions. The Planning Commission voted 5-1 to recommend approval.

Commissioner Becker said the spirit of a PUD in terms of lot sizes has language for some balance. He asked with everything in this plan being lower than code calls for, where is the balance in this plan.

Ms. Sanchez said there was a proposal for enhanced amenities and it meets the required 30% open space requirements. She also advised there will be mail kiosks versus individual mailboxes.

Commissioner Becker said with 40 foot wide lots, the homes in Alexander Place with 85 foot wide lots are potentially going see two homes behind each lot. He declared this goes against what our current Land Development Code states.

David Moon said the traditional residential subdivision would have a minimum or typical lot 70 foot wide and if they backed up to Alexander Place, they would not require a buffer. He stated this master plan provides for a 30 foot heavily landscape buffer between the rear of the single family homes and Alexandria Place. He said the intent is to leave the buffer in a natural state so that it will be a heavy landscape area with a wall within the buffer area.

Commissioner Bankson inquired if there was adequate additional parking provided with the shorter driveways.

Richard Wolfarth, applicant, advised there were 50 additional parking spaces. He said of the five models, three of them will have 30 foot setbacks, and one will have a 28 foot setback, with the largest home having a 25 foot setback. He pointed out they have placed the additional parking throughout the community. He pointed out the distance between the wall and their first unit will be 45 feet. He said in meeting with the neighbors they believe they are satisfied with their proposal. He also affirmed this will be a gated community and all maintenance will be by the Homeowner's Association.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed

the public hearing.

MOTION by Commissioner Bankson, and seconded by Commissioner Dean, to approve Ordinance No. 2634 at First Reading and carry it over for a Second Reading. Motion carried 4-1 with Mayor Kilsheimer, and Commissioners Dean, Velazquez, and Bankson voting aye and Commissioner Becker voting nay.

- 3. Ordinance No. 2604 – Second Reading - Comprehensive Plan Amendment – Large Scale – Project: TGINF, LLC - Located at 501 Old Dixie Highway. The City Clerk read the title as follows:**

ORDINANCE 2604

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM COMMERCIAL TO MEDIUM LOW DENSITY RESIDENTIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY AND WEST OF NORTH MAINE AVENUE, COMPRISING 15.73 ACRES, MORE OR LESS AND OWNED BY TGINF LLC; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

Mr. Moon advised there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Velazquez, and seconded by Commissioner Becker, to adopt Ordinance No 2604. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

- 4. Ordinance No. 2628 – First Reading – Change of Zoning Project: TGINF, LLC - Located at 501 Old Dixie Highway. The City Clerk read the title as follows:**

ORDINANCE NO. 2628

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM C-1(COMMERCIAL) TO R-3 (RESIDENTIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY AND EAST OF VICK ROAD, COMPRISING 15.8 ACRES MORE OR LESS, AND OWNED BY TGINF LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing and witnesses were sworn in by the Clerk.

Phil Martinez, Planner, reviewed and gave a brief lead-in stating this was in conjunction with the previously heard agenda item. The applicant is proposing a rezoning for 15.7 acres from Commercial to Residential multiple family. He reviewed the location of the property on the map and the surrounding land-uses. The intent is for townhomes of 92 lots. He pointed out that the current condition of the property is heavily wooded with a natural body of water in the east central segment. The Planning Commission recommended approval at their meeting on March 13, 2018.

Commissioner Velazquez inquired if the lake would remain.

Mr. Goldberg responded in the affirmative.

Mayor Kilsheimer opened the meeting to a public hearing, no one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker, and seconded by Commissioner Bankson, to approve Ordinance No. 2628 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

- 5. Ordinance No. 2624 – Second Reading - Change of Zoning – Project: George Thum, Jr. & Phillip & Peggy Dionne – Located west of Jason Dwelley Parkway, south of West Kelly Park Rd. The City Clerk read the title as follows:**

ORDINANCE NO. 2624

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 (AGRICULTURE) AND “CITY” AG (AGRICULTURE) TO “CITY” PO/I (PROFESSIONAL OFFICE/INSTITUTIONAL) FOR CERTAIN REAL PROPERTIES LOCATED WEST OF JASON DWELLEY PARKWAY AND SOUTH OF WEST KELLY PARK ROAD, COMPRISING 15.17 ACRES, MORE OR LESS, AND OWNED BY GEORGE THUM JR. AND PEGGY DIONNE; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing and witnesses were sworn in by the Clerk.

Mr. Moon advised there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Dean, and seconded by Commissioner Velazquez, to adopt

Ordinance No. 2624. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

6. **Ordinance No. 2633 – Second Reading – Vacate – Platted Right-of-Way (Ransom Street) – Project: City of Apopka – Located north of East 6th Street, south of U.S. Highway 441; west of South Sheeler Avenue.** The City Clerk read the title as follows:

ORDINANCE NO. 2633

AN ORDINANCE OF THE CITY OF APOPKA, TO VACATE A RIGHT OF WAY, KNOWN AS RANSOM STEEET, LOCATED NORTH OF EAST 6TH STREET, SOUTH OF U.S. HIGHWAY 441; WEST OF SOUTH SHEELER AVENUE IN SECTION 10, TOWNSHIP 21, RANGE 28 OF ORANGE COUNTY, FLORIDA; PROVIDING DIRECTIONS TO THE CITY CLERK, FOR SEVERABILITY, FOR CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing and witnesses were sworn in by the Clerk.

Ms. Sanchez advised there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson, and seconded by Commissioner Becker, to adopt Ordinance No. 2633. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

7. **Ordinance No. 2629 – First Reading - Comprehensive Plan Amendment – Small Scale Project: VBRO Enterprises, Inc. - Located at 41 East Lester Road.** The City Clerk read the title as follows:

ORDINANCE NO. 2629

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” LOW DENSITY RESIDENTIAL TO “CITY” COMMERCIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF E. LESTER ROAD AND WEST OF ROCK SPRINGS ROAD, COMPRISING 0.84 ACRES MORE OR LESS, AND OWNED BY VBRO ENTERPRISES INC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Moon said this was a request for a small scale future land-use amendment that affects

approximately 0.84 acres. This property is also addressed on the agenda for rezoning and it will be coupled with other parcels for a future commercial shopping plaza. He reviewed the location of the property and surrounding land uses. The staff report is on file in the clerk's office. The Planning Commission recommended approval at their meeting on March 13, 2018. The recommendation is to accept at First Reading and carry over for a Second Reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

In response to Commissioner Velazquez inquiring as to what type of commercial business this would be, Bill Burkett, with Burkett Engineering, advised the full intent of commercial is still to be developed, but one of the main uses that is anticipated is an adult daycare facility.

Mr. Moon advised there would be more information addressed at the rezoning application and there would be a limit of square footage that can be used for adult daycare at 7,000 square feet. The site could hold up to 36,000 square feet of commercial floor area.

MOTION by Commissioner Becker, and seconded by Commissioner Bankson, to approve Ordinance No. 2629 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

8. **Ordinance No. 2630 – First Reading – Change of Zoning – Project: VBRO Enterprises, Inc. - Located at 41 East Lester Road.** The City Clerk read the title as follows:

ORDINANCE 2630

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 AGRICULTURE TO “CITY” PLANNED UNIT DEVELOPMENT (COMMERCIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF EAST LESTER ROAD AND WEST OF NORTH ROCK SPRINGS ROAD, COMPRISING 3.36 ACRES MORE OR LESS, AND OWNED BY VBRO ENTERPRISES LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing. Witnesses were sworn in by the clerk.

Mr. Moon said the proposed request is to rezone the property to “City” PUD from “County” Agriculture A-1. There are six parcels that are addressed within this rezoning request. City Council just addressed the westernmost parcel that recently annexed into the city. He reviewed the parcels on a map and reviewed the proposed land use types such as a sit down restaurant, and adult day care. He advised there was a list of prohibited uses as well as allowable uses. He stated staff recognized this intersection serves as a gateway to a significant

residential area to the City of Apopka. To preserve the residential character it was necessary to limit the intensity of commercial that could locate at this intersection. He reviewed the character of the surrounding areas. DRC recommends approval.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Dean, and seconded by Commissioner Bankson, to approve Ordinance No. 2630 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

9. **Ordinance No. 2631 – First Reading - Comprehensive Plan Amendment – Small Scale – Project: Iglesia Getsemani, Inc. - Located at 2575 West Orange Blossom Trail.** The City Clerk read the title as follows:

ORDINANCE NO. 2631

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” COMMERCIAL TO “CITY” COMMERCIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF WEST ORANGE BLOSSOM TRAIL AND SOUTH OF HIGHLAND AVENUE, COMPRISING 1.43 ACRES MORE OR LESS, AND OWNED BY IGLESIA EL GETSEMANI, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Martinez provided a brief lead-in reviewing the location on a map and the surrounding land-uses. He stated the proposed commercial land-use will complement the other uses in the vicinity between the residential uses to the north and the industrial uses to the south. The Planning Commission recommended approval at their March 13, 2018 meeting. DRC recommends approval of the First Reading and hold it over for a Second Reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Velazquez, and seconded by Commissioner Dean, to approve Ordinance No. 2631 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

10. **Ordinance No. 2632 – First Reading – Change of Zoning – Project: Iglesia Getsemani, Inc. - Located at 2575 West Orange Blossom Trail.** The City Clerk read the title as follows:

ORDINANCE NO. 2632

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA CHANGING THE ZONING FROM “COUNTY” C-1 (COMMERCIAL) TO “CITY” C-1 (COMMERCIAL) FOR CERTAIN REAL PROPERTY LOCATED AT 2575 W. ORANGE BLOSSOM TRAIL, COMPRISING 1.43 ACRES, MORE OR LESS AND OWNED BY IGLESIA GETESEMANI; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing. Witnesses were sworn in by the clerk.

Mr. Martinez said in conjunction with the previously heard agenda item, the applicant is proposing a rezoning for the same property located at 2575 West Orange Blossom Trail from “County” C-1 Commercial to “City” C-1 Commercial. The proposed zoning is compatible with the future land-use. The Planning Commissioner recommended approval at their March 13, 2018 meeting. DRC recommends approval of the First Reading and hold it over for a Second Reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Velazquez, and seconded by Commissioner Becker, to approve Ordinance No. 2632 at First Reading and carry it over for a Second Reading. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

- 11. Ordinance No. 2637 – First Reading - Change of Zoning & PUD Master Plan/ Preliminary Development Plan - Project: City of Apopka, James D. & Deborah M. Lyda and Citizens Bank of Florida - Located on Johns Road, west of S.R. 451. – Postponed to March 21, 2018.**

CITY COUNCIL REPORTS

Commissioner Becker asked for an update regarding the language for medical marijuana.

City Attorney Shepard advised they can bring this forward as soon as council desires.

Commissioner Bankson said he would like to have some workshop meetings regarding the City’s reserve policy. He stated there seems to be a lot of confusion about this and there have been a lot of numbers discussed. He said his recollection was the last adopted budget put the City’s reserves at 18%. He proposed bringing in some experts and establish a committee from the Chamber of Commerce of successful businesses in the area to look over information and make some proposals.

Mayor Kilsheimer said he was amenable to that and state he had done some of his own research with regards to reserve policies and what other cities do. He said cities like Winter Park, Sanford, and Orlando budget according to a strategic plan. The strategic plan is based on performance measures and each department has a mission statement with performance measurements under that basic strategy. The budgets are built based on these measures. He said he felt this would be a good exercise for the City of Apopka.

Commissioner Bankson said it was healthy to have a long term plan and plan for vehicle replacement.

Mayor Kilsheimer the City has provided for two new Fire Stations including the outfitting and equipping of same, and the hiring of staff all out of the General Fund budget. He said these two new stations have already proven themselves in the short amount of time they have been open. He stated the growth of Apopka is here today, affecting us today. He spoke of the need for a public safety complex that will hopefully be paid for from the newly created impact fund. He reiterated the idea of strategic planning being used to build the budget.

MAYOR'S REPORT – No report.

ADJOURNMENT – There being no further business the meeting adjourned at 8:41 p.m.

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda F. Goff, City Clerk

CITY OF APOPKA

Minutes of the regular City Council meeting held on March 7, 2018, at 1:30 p.m., in the City of Apopka Council Chambers.

PRESENT: Mayor Joe Kilsheimer
Commissioner Diane Velazquez
Commissioner Kyle Becker
Commissioner Doug Bankson
City Attorney Patrick Brackins
City Administrator Glenn Irby

ABSENT; Commissioner Billie Dean

PRESS PRESENT: Teresa Sargeant - The Apopka Chief
Reggie Connell, The Apopka Voice

INVOCATION: - Mayor Kilsheimer introduced Reverend John Pallard of the Church of the Holy Spirit who gave the invocation. Mayor Kilsheimer asked for a moment of silence for Commissioner Dean who recently lost his daughter.

PLEDGE OF ALLEGIANCE: Mayor Kilsheimer said on March 1, 1961, President John F. Kennedy issued an executive order establishing the Peace Corps, following up on his inaugural address wherein he challenged America's youth to "*ask not what your country can do for you, ask what you can do for your country.*" The program was designed to promote world peace and a friendship by sending trained American volunteers to foreign nations to assist in development efforts. In all, more than 225,000 Americans have joined the Peace Corps since 1961, serving in 140 nations. He requested everyone to reflect on the selfishness of the Peace Corps volunteers who help promote peace through service to others as he led in the Pledge of Allegiance.

AGENDA REVIEW: Mr. Irby advised there were no changes.

PUBLIC COMMENT/STAFF RECOGNITION AND ACKNOWLEDGEMENT

Proclamations:

1. Art & Foliage Festival Weekend Proclamation was read by Mayor Kilsheimer acknowledging April 28 and 29, 2018 as Apopka Art & Foliage Festival Weekend in the City of Apopka. He then presented it to the Apopka Woman's Club.

Employee Recognition:

- ❖ Five Year Service Award – William “Chris” Connor – Public Services/Water Plant. Chris was not present and his award will be presented at another time.
- ❖ Ten Year Service Award – Rania Nakla – Public Services/Director’s Office. Rania was not present and her award will be presented at another time.
- ❖ Ten Year Service Award – Sean Knapp – Fire/EMS. The Commissioners joined Mayor Kilsheimer in congratulating Sean on his years of service.
- ❖ Fifteen Year Service Award – Kristi Funke – Human Resources/Risk Management. The Commissioners joined Mayor Kilsheimer in congratulating Kristi on her years of service.

Public Comment:

Paul Pipitone said it has become really irritating putting up with all of the fireworks going off over the various holidays. He asked Council to somehow figure out this problem, stating if fireworks are against the law, then have the law enforced. He expressed concerns of turning left on Park Avenue to head north and asked for consideration of a traffic light in the area. He advised that he obtained a yard sale permit, but his signs were removed. He stated there needs to be a check and balance on these signs. He suggested permit numbers be placed on the yard sale signs.

Joann Castillo, President of the Apopka Woman's Club, requested that the construction on the splash pad be postponed until after the Art and Foliage Festival.

Ray Shackelford said he agreed with the sentiment expressed by the Mayor relating to the Dean family. He asked that the Dean family be kept in everyone's prayers.

CONSENT (Action Item)

1. Authorize Support Services for the 57th Annual Apopka Art & Foliage Festival.
2. Approve the sale of Apopka Youth Works (AYW) T-Shirts to benefit the AYW Scholarship Program.
3. Authorize an expenditure from Law Enforcement Trust Funds for the CRA, Community Outreach Program.
4. Accept and update signatories with Florida Community Bank.
5. Approve an Inmate Work Squad Contract with the Department of Corrections.
6. Approve the installation of inliner in the stormwater piping system by Layne Inliner.
7. Approve an interlocal agreement with Orange County for municipal separate storm sewer system permit activities.

MOTION by Commissioner Becker, and seconded by Commissioner Bankson, to approve six items on the Consent Agenda. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker and Bankson voting aye.

BUSINESS:

1. Select a design/layout and award a contract to FreePort Fountains for RFP#2018-07 Design/Build of a Splash Pad at Kit Land Nelson Park.

Mr. Irby advised Council directed staff to work with FreePort Fountains to come up with a layout for a Splash Pad in Kit Land Nelson Park. He advised there are three designs and at the Workshop held January 26, 2018, there seemed to be a consensus for option three. He advised this option has a bathing load of 60 and it is under budget by \$19,000. He said they would like to hold back this amount for any contingencies.

Discussion ensued regarding the construction starting on the Splash Pad with the Art and Foliage Festival scheduled the end of April. Mr. Irby advised that during any scheduled event, construction will cease and the large equipment will be removed and the area secured.

Mayor Kilsheimer directed staff to work with the Apopka Woman's Club to work out an alternative layout and provide accommodations for the foliage festival. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker, and

Bankson voting aye.

2. Approve the negotiation and award to Tindale Oliver for RFQ 2018-03 for Professional Transportation and Engineering Services.

Richard Earp, City Engineer, said this is for an update to the Transportation Impact Fee. The last time the fee was updated was in 2005 and this update will look at all of the changes that have occurred in the city and provide a recommended update. He advised we advertised for continuing consulting services and received three responses. Upon review, presentations, and ranking, it is recommended to approve staff moving forward with negotiations and award of the contract to Tindall Oliver.

MOTION by Commissioner Becker, and seconded by Commissioner Velazquez to approve staff moving forward with negotiations and award of the contract to Tindall Oliver for Professional Transportation and Engineering Services. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker, and Bankson voting aye.

3. Approve an Interlocal Agreement between the City of Apopka and the City of Mount Dora to establish a utility. Jay Davoll, Public Services Director, said this is an Interlocal Agreement between Mount Dora and the City of Apopka. He advised Mount Dora approached the city regarding their needs for supplementing their reclaimed water system. One of the options they are pursuing is an area where they will have a large pond similar to the ponds the City of Apopka is building. Unfortunately, they do not have enough reclaimed water to always fill the pond and provide for the demand they have. They contacted the City of Apopka and received a grant from St. John's Water Management District to bring lines from their site to Golden Gem where we currently have reclaimed water. At the same time the City of Apopka is working on our system at Golden Gem and the timing should workout. He advised this was for the agreement with all the details to allow this supplementing.

In response to Commissioner Becker inquiring about the upsizing of the pipe, Mr. Davoll advised the upsizing was for the City of Apopka to make the pipe compatible with our system.

Mark Gradowski, Public Works Director, Mount Dora, said they are delighted to work with the City of Apopka on this agreement. He said Mount Dora is paying for the 16 inch pipe and Apopka will pay for any increase over the 16 inch pipe.

Following discussion, Mount Dora was in agreement to a ten year contract with five year renewals.

MOTION by Commissioner Bankson, and seconded by Commissioner Becker to approve the Interlocal Agreement with Mount Dora to establish a utilities interconnect that will provide Mount Dora with surplus reclaimed water, with five year renewals. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker, and Bankson voting aye.

4. Accept the transfer of Rights of Way to and from the Central Florida Expressway Authority.

Mr. Davoll said staff has been working with the Central Florida Expressway (CFX), Florida Hospital Apopka, and Orange County to obtain the right-of-way necessary to extend Harmon Road east to Marden Road. CFX Right-of-Way Committee met on February 28, 2018 and recommended approval of the transfer of certain right-of-ways to the City of Apopka. The City will be conveying aerial rights for the CFX Bridge connecting Coral Hills Road across S.R. 414 and retain aerial rights over S.R. 414 and S.R. 429 bridge crossings. . CFX will consider the transfer at their meeting on March 8, 2018. Florida Hospital Apopka agrees to deed a portion of their property for right-of-way. The recommendation is to accept the transfers to and from CFX.

MOTION by Commissioner Bankson, and seconded by Commissioner Velazquez to accept the transfer of right-of-ways to and from CFX as presented. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker, and Bankson voting aye.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION

1. Ordinance No. 2628 – Second Reading – Change of Zoning – Project: TGINF, LLC - Located at 501 Old Dixie Highway. The City Clerk read the title as follows:

ORDINANCE NO. 2628

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM C-1(COMMERCIAL) TO R-3 (RESIDENTIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY AND EAST OF VICK ROAD, COMPRISING 15.8 ACRES MORE OR LESS, AND OWNED BY TGINF LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR,SEVERABILITY,CONFLICTS,AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing and witnesses were sworn in by the Clerk.

Phil Martinez, Planner, advised there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing, no one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker, and seconded by Commissioner Bankson, to adopt Ordinance No 2628. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker, and Bankson voting aye.

2. Ordinance No. 2629 – Second Reading - Comprehensive Plan Amendment – Small Scale– Project: VBRO Enterprises, Inc. - Located at 41 East Lester Road. The City Clerk read the title as follows:

ORDINANCE NO. 2629

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” LOW DENSITY RESIDENTIAL TO “CITY” COMMERCIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF E. LESTER ROAD AND WEST OF ROCK SPRINGS ROAD, COMPRISING 0.84 ACRES MORE OR LESS, AND OWNED BY VBRO ENTERPRISES INC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Martinez advised there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Velazquez, and seconded by Commissioner Becker, to adopt Ordinance No. 2629. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker, and Bankson voting aye.

3. Ordinance No. 2630 – Second Reading – Change of Zoning –Project: VBRO Enterprises, Inc. - Located at 41 East Lester Road. The City Clerk read the title as follows:

ORDINANCE 2630

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 AGRICULTURE TO “CITY” PLANNED UNIT DEVELOPMENT (COMMERCIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF EAST LESTER ROAD AND WEST OF NORTH ROCK SPRINGS ROAD, COMPRISING 3.36 ACRES MORE OR LESS, AND OWNED BY VBRO ENTERPRISES LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing. Witnesses were sworn in by the clerk.

Mr. Martinez advised there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson, and seconded by Commissioner Becker, to adopt Ordinance No. 2630. Motion carried unanimously with Mayor Kilsheimer, and

Commissioners Velazquez, Becker, and Bankson voting aye.

4. Ordinance No. 2631 – Second Reading - Comprehensive Plan Amendment – Small Scale Project: Iglesia Getsemani, Inc. - Located at 2575 West Orange Blossom Trail. The City Clerk read the title as follows:

ORDINANCE NO. 2631

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” COMMERCIAL TO “CITY” COMMERCIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF WEST ORANGE BLOSSOM TRAIL AND SOUTH OF HIGHLAND AVENUE, COMPRISING 1.43 ACRES MORE OR LESS, AND OWNED BY IGLESIA EL GETSEMANI, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mr. Martinez advised there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Velazquez, and seconded by Commissioner Becker, to adopt Ordinance No. 2631. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Dean, Velazquez, Becker, and Bankson voting aye.

5. Ordinance No. 2632 – Second Reading – Change of Zoning – Quasi-Judicial Project: Iglesia Getsemani, Inc. - Located at 2575 West Orange Blossom Trail. The City Clerk read the title as follows:

ORDINANCE NO. 2632

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA CHANGING THE ZONING FROM “COUNTY” C-1 (COMMERCIAL) TO “CITY” C-1 (COMMERCIAL) FOR CERTAIN REAL PROPERTY LOCATED AT 2575 W. ORANGE BLOSSOM TRAIL, COMPRISING 1.43 ACRES, MORE OR LESS AND OWNED BY IGLESIA GETESEMANI; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing. Witnesses were sworn in by the clerk.

Mr. Martinez said there have been no changes since the first reading.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Becker, and seconded by Commissioner Bankson, to adopt Ordinance No. 2632. Motion carried unanimously with Mayor Kilsheimer, and Commissioners Velazquez, Becker, and Bankson voting aye.

6. Ordinance No. 2634 – Second Reading – Change of Zoning – Project: A. D. Raulerson, Sr. & A. D. Raulerson, Jr. and Curtin & Karen Pumphrey - Located at 251 West Lester Road. The City Clerk read the title as follows:

ORDINANCE NO. 2634

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA CHANGING THE ZONING FROM “CITY” A-1 (ZIP) TO PUD (PLANNED UNIT DEVELOPMENT) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF NORTH ROCK SPRINGS ROAD AND NORTH OF EAST LESTER ROAD, COMPRISING 23.41 ACRES MORE OR LESS, AND OWNED BY ADELBERT RAULERSON, SR. & AD RAULERSON, JR. AND CURTIS & KAREN PUMPHREY; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

Mayor Kilsheimer announced this was a quasi-judicial hearing. Witnesses were sworn in by the clerk.

Mr. Moon advised there have been no changes since the first reading.

Commissioner Becker reiterated the Land Development Code, Section 2.02.18 – B – 11 reads:
The minimum single-family lot size within any PUD shall be 70 feet in width at both the street (with the exception of lots on cult-de-sacs and curves which may be permitted a 40 percent reduction) and building lines with a site area of 7,500 square feet. For every 60-foot lot proposed, an equal number of lots a minimum of 85 feet in width are provided, but under no circumstances may more than 20 percent of the total number of lots in the PUD be less than 75 feet in width.

Commissioner Becker said it was being contemplated that every single home is going to be 40 foot wide lots and this is contradictory to the Land Development Code, therefore, he cannot support it.

Commissioner Velazquez said she met with Mr. Moon due to her concern from the last Council meeting and asked how this would affect future developments and spoke of Silver Oak that was approved with different size lots.

Mr. Moon explained in the case of Silver Oak the lot diversity was 40, 50 and 70 foot wide

lots with 45 percent being 40 foot wide, 45 to 50 percent being 50 foot wide lots and 5 to 10 percent for the 70 foot wide lots.

Commissioner Velazquez said the younger generation was looking for different housing and smaller yards for less maintenance. This proposed development will be gated and the HOA will provide all of the landscaping and maintenance.

James Hitt, Community Development Director, said Commissioner Becker did quote the code exactly as it reads. He stated PUD's, just because of the nature and any other code allows for variances. This applicant is asking for a variance to reduce the size of the lot and he reiterated you can put variances within the PUD as it is being approved.

Commissioner Bankson said the increased buffer made this more positive for him. He said he understands the point of following the code, but having the amenities with a gated community helps to satisfy the variances for him.

Mayor Kilsheimer opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

MOTION by Commissioner Bankson, and seconded by Commissioner Velazquez to adopt Ordinance No. 2634. Motion carried 3-1 with Mayor Kilsheimer, and Commissioners Velazquez and Bankson voting aye, and Commissioner Becker voting nay.

CITY COUNCIL REPORTS

Commissioner Bankson said following the Town Hall meeting last evening he had a citizen approach him regarding a visibility issue at Sandpiper and Ustler Road. He stated now that we have direct control over the roadway, he wanted to bring attention to this matter. He said we also needed to address the sidewalk on the north side where a rail had been removed and is dangerous. He said the sidewalk was in very poor repair and needs to be looked into.

MAYOR'S REPORT

Mayor Kilsheimer reported a water main break occurred in Errol Estates last evening around 4:00 p.m. Employees had to be called back to work who worked from 4:00 p.m. through 1:00 p.m. today and some are still there working. He recognized the following employees for all of their efforts: Curtis Johnson, Utility Foreman, Terry Hicks, Utility Service Worker II, Dennis Misurale, Utility Service Worker II, Charlie Shaw, Utility Service Worker II, Angel Reyes, Utility Service Worker II, Roger Stewart, Utility Service Worker II, Derrick Clark, Utility Service Worker II, Kenny Gibson, Utility Service Worker I, Tim Romine, Utility Service Worker I, Scott Krouse, Water Plant Chief Operator, and Chris Connor, Water Plant Operator B.

ADJOURNMENT – There being no further business the meeting adjourned at 3:04 p.m.

ATTEST:

Joseph E. Kilsheimer, Mayor

Linda F. Goff, City Clerk

Proclamation

WHEREAS, water is a basic and essential need of every living creature; and

WHEREAS, the State of Florida, Water Management Districts, the Florida Section of the American Water Works Association, and the City of Apopka are working together to promote the efficient use of water and advocating sound water conservation practices; and

WHEREAS, the City of Apopka and the State of Florida has designated April, - typically a dry month when water demands are most acute, - Florida's Water Conservation Month, to educate private citizens and other users about efficient use of precious water resources; and

WHEREAS, the City of Apopka has always encouraged and supported water conservation, through various educational programs and special events; and

WHEREAS, every business, industry, school and citizen can make a difference when it comes to conserving water; and

WHEREAS, every business, industry, school and citizen can help by saving water and thus promote a healthy economy and community.

NOW, THEREFORE, I, Joseph E. Kilsheimer, Mayor of the City of Apopka, Florida, by virtue of the authority vested in me by the City of Apopka, do hereby proclaim the month of April to be:

WATER CONSERVATION MONTH

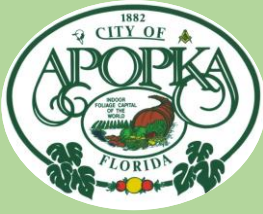
in the City of Apopka and encourage each citizen and business to help protect our precious resource by practicing water saving measures and becoming more aware of the need to save water.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City to be affixed this 4th day of April, 2018.

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda F. Goff, City Clerk



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: STAFF PRESENTATION

MEETING OF: April 4, 2018
 FROM: Public Services
 EXHIBITS:

SUBJECT: EMERGENCY GENERATOR REPLACEMENT FOR BRADSHAW LIFT STATION #77

REQUEST: APPROVE THE EMERGENCY PURCHASE OF A REPLACEMENT STANDBY GENERATOR IN THE AMOUNT OF \$74,525

SUMMARY:

The Bradshaw Road Lift Station #77 has experienced a failure of the standby generator due to excessive corrosion caused by prolonged exposure to hydrogen sulfide gases. This lift station is a master regional lift station for the City, pumping approximately 40% of the total wastewater flow to the wastewater treatment plant. DEP Rule 62-604.400(2)(a) of the Florida Administrative Code, requires that this station be equipped with standby power or pumping capability.

Staff has obtained a proposal from Zabatt Power Systems, through the Florida Sheriffs Association Contract for the purchase and installation of a new 350 kW (kilowatt) standby generator for \$74,525. The standby generator will maintain continuous service of the lift station in the event of a power failure and minimize the opportunity for a sewer overflow to occur.

FUNDING SOURCE:

Wastewater Operations Reserve Fund 401

RECOMMENDATION ACTION:

Approve the purchase and installation of a new 350 kW standby generator from Zabatt Power Systems in the amount of \$74,525.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: April 4, 2018
 FROM: Public Services
 EXHIBITS:

SUBJECT: BYPASS PUMP AT A WASTEWATER LIFT STATION

REQUEST: AUTHORIZE THE PURCHASE OF A BYPASS PUMP FROM THOMPSON PUMP AND MANUFACTURING COMPANY, INC.

SUMMARY:

Staff has obtained a proposal from Thompson Pump and Manufacturing Company, Inc., through the Florida Sheriffs Association Contract for the purchase of a new bypass pump for the Forest Avenue Lift Station 17 for \$73,873. Due to growth and increase in capacity in this segment of the utility service area, the need for emergency bypass pumping abilities has become critical. The bypass pump will maintain continuous service of the lift station in the event of a pump or power failure and minimize the opportunity for a sewer overflow to occur. This bypass pump will replace the existing 1972 Caterpillar standby generator. The generator has become outdated, as parts are no longer available in the event of needed repairs.

FUNDING SOURCE:

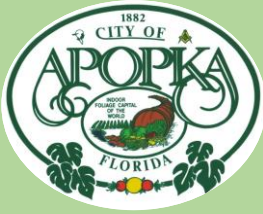
Fund 401 – Utility Plant Maintenance Budget

RECOMMENDATION ACTION:

Authorize the purchase of a bypass pump for Forest Avenue Lift Station 17 from Thompson Pump and Manufacturing Company, Inc., for \$73,873.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: April 4, 2018
 FROM: Public Services
 EXHIBITS: Proposal & Exhibit A

SUBJECT: 2018 STREETS RESURFACING PROJECT

REQUEST: AWARD A CONTRACT TO ORLANDO PAVING COMPANY

SUMMARY:

Orlando Paving Company currently retains a street resurfacing contract with Seminole County (Seminole County Pavement Management Contract IFB-602096-14/BJC). Orlando Paving Company has agreed to allow the City of Apopka to piggy-back the terms and conditions of the contract for milling existing asphalt, installation of new asphalt and temporary striping throughout various locations within the city limits.

Project consists of milling approximately 52,000 S.Y. of existing asphalt, installing approximately 3,800 tons of new asphalt 1” thick and installing temporary paint striping. All millings shall be retained by the City of Apopka and delivered to the Public Services Complex.

FUNDING SOURCE:

FY 18 – Streets Resurfacing Fund 101

RECOMMENDATION ACTION:

Approve the 2018 Streets Resurfacing Project in the amount of \$522,107.52 from Orlando Paving Company with a 10% contingency amount of \$52,210.75 for a total amount of \$574,318.27.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



ORLANDO PAVING COMPANY
 A division of Hubbard Construction Company
 1936 Lee Road, Suite 300 – Winter Park, FL 32789
 P.O. Box 547186 – Orlando, FL 32854-7186
 T/ 407-578-9779 – F/ 407-578-5251
 www.hubbard.com

To: City of Apopka
Address: 120 East Main Street Apopka, FL 32703
 Apopka, FL 32703

Attn: Ken Gatton
Email: kgatton@apopka.net
Phone: (407) 703-1704
Mobile: (407) 925-9938

Estimate: 018-150220R3
Project: City of Apopka-Rev01 (2018 Street Resurfacing - Seminole Co Piggy-back)
Bid Date: 03/05/2018
Completion: End of 2-QTR-2018

of Addenda:

BID ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	AMOUNT
GROUP I: ASPHALT CONCRETE					
334-1-13	SUPERPAVE ASPH CONCRETE, TRAFFIC C	3,815.470	TN	\$ 85.80	\$327,367.33
GROUP III: MILLING EXISTING ASPHALT PAVEMENT					
327-70D	MILLING EXISTING ASPHALT PAVT (1.00" AVG DEPTH)	45,486.000	SY	\$ 2.39	\$108,711.54
327-70D	MILLING EXISTING ASPHALT PAVT (2.50" AVG DEPTH)	2,151.000	SY	\$ 2.39	\$5,140.89
GROUP IV: TEMPORARY PAVEMENT MARKINGS					
102-78	TEMP RETROREFLECTIVE PAVEMENT MARKERS	507.000	EA	\$ 3.05	\$1,546.35
710-11-111	TEMP PAVT MARKINGS, PAINT, SOLID, WHITE, 6"	10,311.000	LF	\$ 0.34	\$3,505.74
710-11-123	TEMP PAVT MARKINGS, PAINT, SOLID, WHITE, 12"	1,116.000	LF	\$ 0.89	\$ 993.24
710-11-125	TEMP PAVT MARKINGS, PAINT, SOLID, WHITE, 24"	468.000	LF	\$ 1.77	\$ 828.36
710-11-170	TEMP PAVT MARKINGS, PAINT, WHITE, ARROW	10.000	EA	\$ 24.40	\$ 244.00
710-11-221	TEMP PAVT MARKINGS, PAINT, SOLID, YELLOW, 6"	22,320.000	LF	\$ 0.34	\$7,588.80
GROUP V: MISC ITEMS, MOBILIZATION, & MOT					
101-1	MOBILIZATION	1.000	LS	\$26,000.00	\$26,000.00
102-1	MAINTENACE OF TRAFFIC	1.000	LS	\$38,000.00	\$38,000.00
425-6	WATER VALVE COVER ADJUSTMENT	1.000	EA	\$ 128.31	\$ 128.31
425-7	MANHOLE RING ADJUSTMENT	12.000	EA	\$ 171.08	\$2,052.96

GRAND TOTAL: \$522,107.52

Unit prices are in accordance to our Seminole County Pavement Management Contract (IFB-602096-14/BJC). Unit prices based on quantities and locations provided by the City of Apopka per attached "Exhibit A." Unit prices shall govern.

Respectfully submitted,

Dustin Baker - Estimator

ACCEPTANCE:

I/We, the undersigned, accept the above proposal and intend to award a contract, subject to all terms contained herein.

Customer: _____

Date of Acceptance: _____

(EXHIBIT A) Apopka Streets Resurfacing - 2018

BID ITEM	DESCRIPTION	TOTAL SY	LENGTH IN FEET	WIDTH FEET	IN	UNIT MEASURE	APPROX. QUANTITY	ASPHALT COST PER UNIT	ASPHALT COST @ 115 LBS PER SY	MILLING COST @ \$2.39 PER SY	TOTAL COST PER AREA
A	Mobilization					LS	1.00				\$26,000.00
B	Maintenance of Traffic					LS	1.00				\$ 38,000.00
	Street Resurface										
1	Marden Rd	5,480	2,055	24		TN	315.10	\$85.80	\$27,035.58	\$13,097.20	\$40,132.78
1a	430' North of Round About to Ocoee-Apopka Rd										
	From Round About to 430' North of Round About	1,720	430	36		TN	98.90	\$85.80	\$8,485.62	\$4,110.80	\$12,596.42
2	Sandpiper Rd	7,200	2,700	24		TN	414.00	\$85.80	\$35,521.20		\$35,521.20
3	Park Ave to Ustler Rd Entrance	1,736	710	22		TN	98.82	\$85.80	\$8,564.56	\$4,149.04	\$12,713.60
4	Monroe Ave	5,333	2,000	24		TN	306.65	\$85.80	\$26,310.36	\$12,745.87	\$39,056.23
X	Edgewood Dr to W. of Christiana St Armando Borjas Jr. Way Eliminated										
6	W. Summit St	6,000	2,250	24		TN	345.00	\$85.80	\$29,601.00	\$14,340.00	\$43,941.00
7	Grossenbacher Dr	3,550	1,278	25		TN	204.13	\$85.80	\$17,513.93	\$8,484.50	\$25,998.43
8	Lake Ave	4,498	1,840	22		TN	258.64	\$85.80	\$22,190.88	\$10,750.22	\$32,941.10
9	Lake Ave	5,600	1,800	28		TN	322.00	\$85.80	\$27,627.60		\$27,627.60
10	Lake Ave	6,844	2,200	28		TN	393.53	\$85.80	\$33,764.87	\$16,357.16	\$50,122.03
11	Oak St to 3rd St 10th St	1,589	650	22		TN	91.37	\$85.80	\$7,839.33	\$3,797.71	\$11,637.04
12	Tilden Ave to Christiana Ave	992	425	21		TN	57.04	\$85.80	\$4,894.03		\$4,894.03
13	Apopka Blvd to Lake Dr Sheeler Hills Dr	6,400	2,400	24		TN	368.00	\$85.80	\$31,574.40	\$15,296.00	\$46,870.40
14	Sheeler Ave to Cul-de-sac Lauren Dr	1,600	600	24		TN	92.00	\$85.80	\$7,893.60	\$3,824.00	\$11,717.60
15	Sheeler Hills Dr to Sheeler Hills Dr Washington Ave 10th St to 4th St	6,600	2,700	22		TN	379.50	\$85.80	\$32,561.10	\$5,141.00	\$37,702.10
	Patch Work										
1	Schopke Rd and Schopke Lester Rd Int.	303	Irrigular			TN	17.42	\$85.80	\$1,494.74	\$724.17	\$2,218.91
2	Schopke Rd	188	130	13		TN	10.81	\$85.80	\$927.50	\$449.32	\$1,376.82
3	W. Wekiva Pines Blvd and N. Rock Springs Rd (CR 435)	73	55	12		TN	4.20	\$85.80	\$360.15	\$174.47	\$534.62
4	Statham Dr	100	75	12		TN	5.75	\$85.80	\$493.35	\$239.00	\$732.35
5	W. Ponkan Rd and Golden Gem Rd	478	Irrigular			TN	27.49	\$85.80	\$2,358.21		\$2,358.21
6	Piedmont Wekiva Rd	72	50	13		TN	4.14	\$85.80	\$355.21	\$172.08	\$527.29
	TOTAL COST ASPHALT & MILLING										\$ 505,219.76
	TOTAL COST TEMP PAVMT MARKING										\$ 14,706.49
	TOTAL COST MH & VALVE RINGS										\$2,181.27
	TOTAL COST										\$ 522,107.52

*** 2.5" To Be Milled Between Curb From 4th St to 6th St (880' X 22')

- Note: - All millings will be retained by City of Apopka and placed within 5 miles of all work.
 - All roads shall be tacked per Section 300 of the FDOT Standards prior to paving.
 Cost is incidental to and is included in the cost of the asphalt.
 - Keyway joints to be installed at all existing pavement connections.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: STAFF PRESENTATION

MEETING OF: April 4, 2018
 FROM: Public Services
 EXHIBITS:

SUBJECT: WASTEWATER RESIDUALS TRANSPORT AND DISPOSAL CONTRACT EXTENSION

REQUEST: APPROVE THE FINAL ONE-YEAR EXTENSION OF THE ANNUAL CONTRACT WITH SHELLEY’S ENVIRONMENTAL SYSTEMS FOR WASTEWATER RESIDUALS TRANSPORT AND DISPOSAL

SUMMARY:

On April 20, 2016, the City Council approved a service agreement to transport, treat and dispose of biosolids generated at the City’s Water Reclamation Facility. The Agreement was for one year, with the option for two additional one-year contract extensions. This is the final extension. The term of the extension will be from April 23, 2018 through April 22, 2019.

Shelley’s Environmental Systems has agreed to a one-year extension of the service agreement and maintain the same price of \$38.00 per cubic yard.

FUNDING SOURCE:

Sewer Operations Fund 401

RECOMMENDATION ACTION:

Approve the final one-year extension of the annual contract with Shelley’s Environmental Systems for wastewater residuals transport and disposal at the price of \$38.00 per cubic yard.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Final Development Plan

MEETING OF: April 4, 2018
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Aerial Map
 Site Plan
 Landscape Plan
 Building Renderings

SUBJECT: FINAL DEVELOPMENT PLAN – SELF HELP CREDIT UNION

REQUEST: APPROVE THE FINAL DEVELOPMENT PLAN FOR SELF HELP CREDIT UNION

SUMMARY:

OWNER/APPLICANT: Self Help Credit Union c/o Randy Chambers, President
 ENGINEER: Dewberry Engineers, Inc. c/o Christopher J. Allen, P.E.
 LOCATION: 667 West Orange Blossom Trail
 PARCEL ID #: 09-21-28-5900-04-010
 FUTURE LAND USE: Commercial
 ZONING: C-2
 EXISTING USE: Vacant
 PROPOSED USE: Drive-through Bank
 TRACT SIZE: 1.37 +/- acres
 BUILDING SIZE: 2,320 square feet
 FLOOR AREA RATIO: 0.039

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Institutional/Public Use	R-O-W/PO/I	Old Dixie Highway/Apopka Elementary School
East (County)	Commercial	R-O-W/R-2	Old Dixie Highway/Residential
South (City)	Commercial	R-O-W/C-1	U.S. 441/Vacant
West (City)	Commercial	C-2 (ZIP)	Vacant

PROJECT SUMMARY: The Self Help Credit Union Final Development Plan proposes to construct a building with 2,320 square feet floor area for a bank with two drive-through service stations. The drive-through station is screened from Old Dixie Highway by a 3-foot high garden wall and landscaping. With frontage on two streets, building architecture has the north and south sides of the building have the appearance of a building front wall.

PARKING AND ACCESS: A total of 21 parking spaces are provided of which 2 are reserved as a handicapped parking spaces. Ingress/egress access points for the development will be via full access onto U.S. 441 and Old Dixie Highway.

EXTERIOR ELEVATIONS: The design of the building exterior complies with Section 4.2.1 of the Development Design Guidelines that addresses commercial design standards.

STORMWATER: Stormwater run-off and drainage will be accommodated by an on-site retention pond on the western portion of the project site. The stormwater management system is designed according to standards set forth in the Land Development Code.

CONDITIONS OF APPROVAL: A re-plat will be required prior to issuance of a certificate of occupancy.

BUFFER/TREE PROGRAM: A three-foot tall garden wall is provided to screen the drive through area from Old Dixie Highway. The plan also shows a ten-foot landscape buffer along Old Dixie Highway and U.S. 441. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069. The applicant has committed to submit an arbor mitigation payment fee of \$3,629 based on the number of tree inches replaced.

Total inches on-site:	900
Total number of specimen trees:	10
Total inches removed	640
Total inches retained:	260
Total inches required:	363
Total inches replaced:	145
Total inches post development:	162

PUBLIC HEARING SCHEDULE:

March 13, 2018 - Planning Commission (5:30 pm)

April 4, 2018 - City Council (1:30 pm)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the Self Help Credit Union – Final Development Plan, subject to the findings of this staff report.

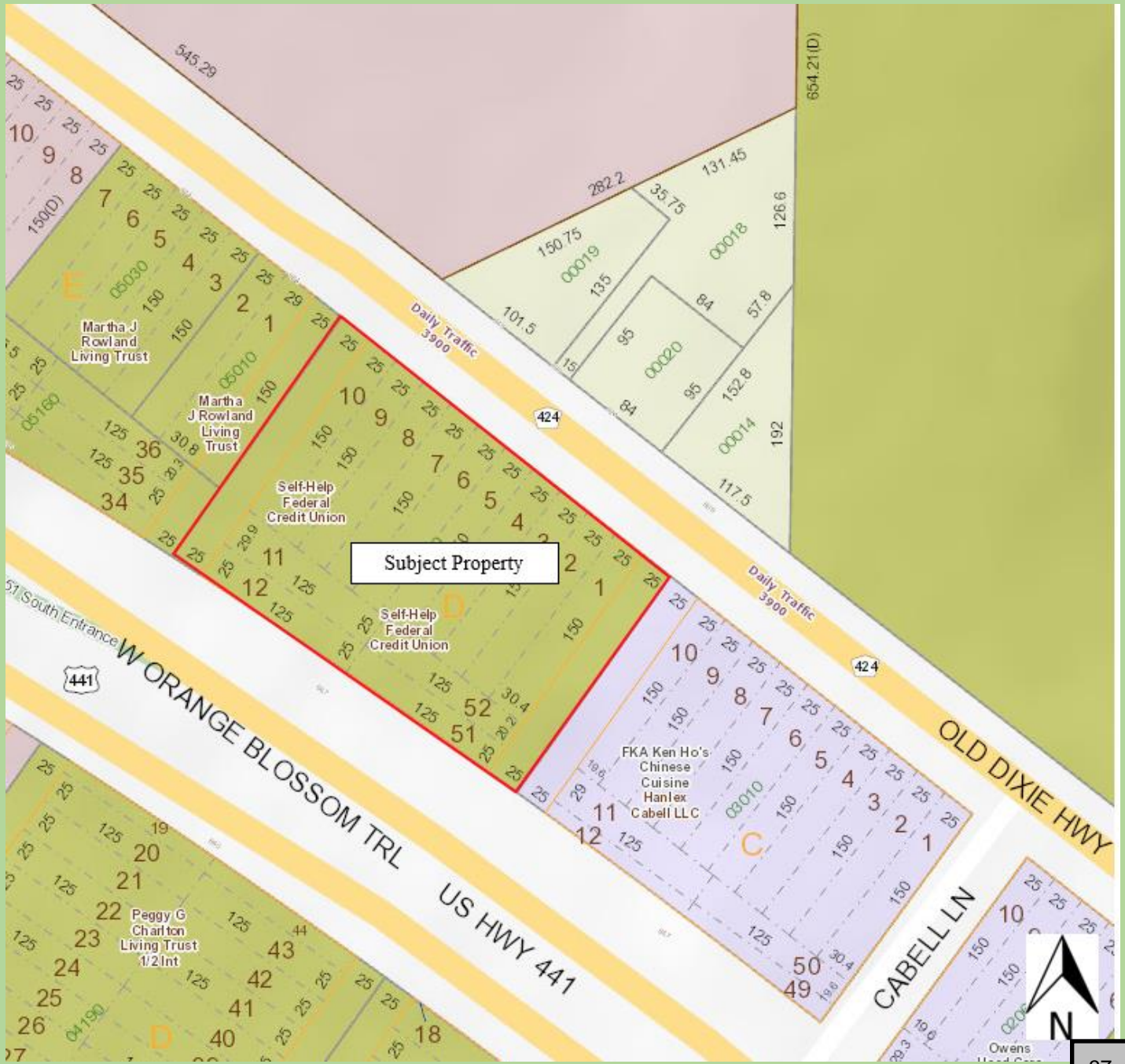
The **Planning Commission**, at its meeting on March 13, 2018, found the Self Help Credit Union Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and unanimously recommended approval of the Self Help Credit Union Final Development Plan, subject to the findings of this staff report.

City Council: Approve the Self Help Credit Union – Final Development Plan

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Self Help Credit Union c/o Randy Chambers
Dewberry Engineers, Inc. c/o Christopher J. Allen, P.E.
Self Help Credit Union
1.37 +/- acres
Parcel ID No.: 09-21-28-5900-04-01

VICINITY MAP



AERIAL MAP



SEAL

KEY PLAN



No.	DATE	BY	Description
REVISIONS			

DRAWN BY _____
 APPROVED BY _____
 CHECKED BY _____
 DATE JULY 6, 2017

TITLE

LANDSCAPE PLAN

PROJECT NO. 50094806

L2.10

SHEET NO. OF 79

BUFFER SCHEDULE		
NORTHEAST - 10' REQUIRED - 10' PROVIDED		
300 LF	CANOPY: 1/35 LF MIN.	SHRUB: 10/35 LF MIN.
REQUIRED	9	86
PROVIDED	9	0
SOUTHEAST - 5' REQUIRED - 5' PROVIDED		
192 LF	CANOPY: 1/35 LF MIN.	GROUND COVER/HEDGE
REQUIRED	5	CONTINUOUS
PROVIDED	6	CONTINUOUS
SOUTHWEST - 10' REQUIRED - 10' PROVIDED		
300 LF	CANOPY: 1/35 LF MIN.	SHRUB: 10/35 LF MIN.
REQUIRED	9	86
PROVIDED	9	75
NORTHWEST - 5' REQUIRED - 5' PROVIDED		
206 LF	CANOPY: 1/35 LF MIN.	
REQUIRED	6	
PROVIDED	5	

IRRIGATED TURF AREA:	
BAHIA:	20,903 SF (0.4799 ACRES)
ST. AUGUSTINE	2,772 SF

INTERIOR VUA LANDSCAPE AREA CALCULATIONS:

TOTAL VEHICULAR USE AREA:	22,024
INTERIOR LANDSCAPE AREA:	
REQUIRED(10%):	2,202 SF
PROVIDED:	2,230 SF
TREES	
REQUIRED:	4 (21 SPACES - 1/6 SPACES)
PROVIDED:	6 (5 PROVIDED, 1 EXISTING)

LANDSCAPE NOTES:

- LANDSCAPE AND IRRIGATION PLANS SHALL BE IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.
- ALL SERVICE EQUIPMENT AND UTILITY BOXES MUST BE FULLY SCREENED.
- ALL AREAS THAT ARE NOT PAVED OR MULCHED SHALL BE SODDED TO THE LIMITS OF SOD AND PROPERTY LINE WITH BAHIA SOD.
- SOD ALL PONDS WITH BAHIA SOD TO TWO(2) FEET BELOW NORMAL WATER ELEVATION. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- SOD ALL DISTURBED AREAS WITHIN MERCANTILE LANE RIGHT OF WAY.
- ALL TREES AND SHRUBS SHALL BE PLACED WITH A MINIMUM OF 5' HORIZONTAL SEPARATION FROM TOHO MAINTAINED UTILITIES.
- ALL PROPOSED TREES SHALL BE MEASURED, FOR DBH, AT 54" ABOVE SOIL.

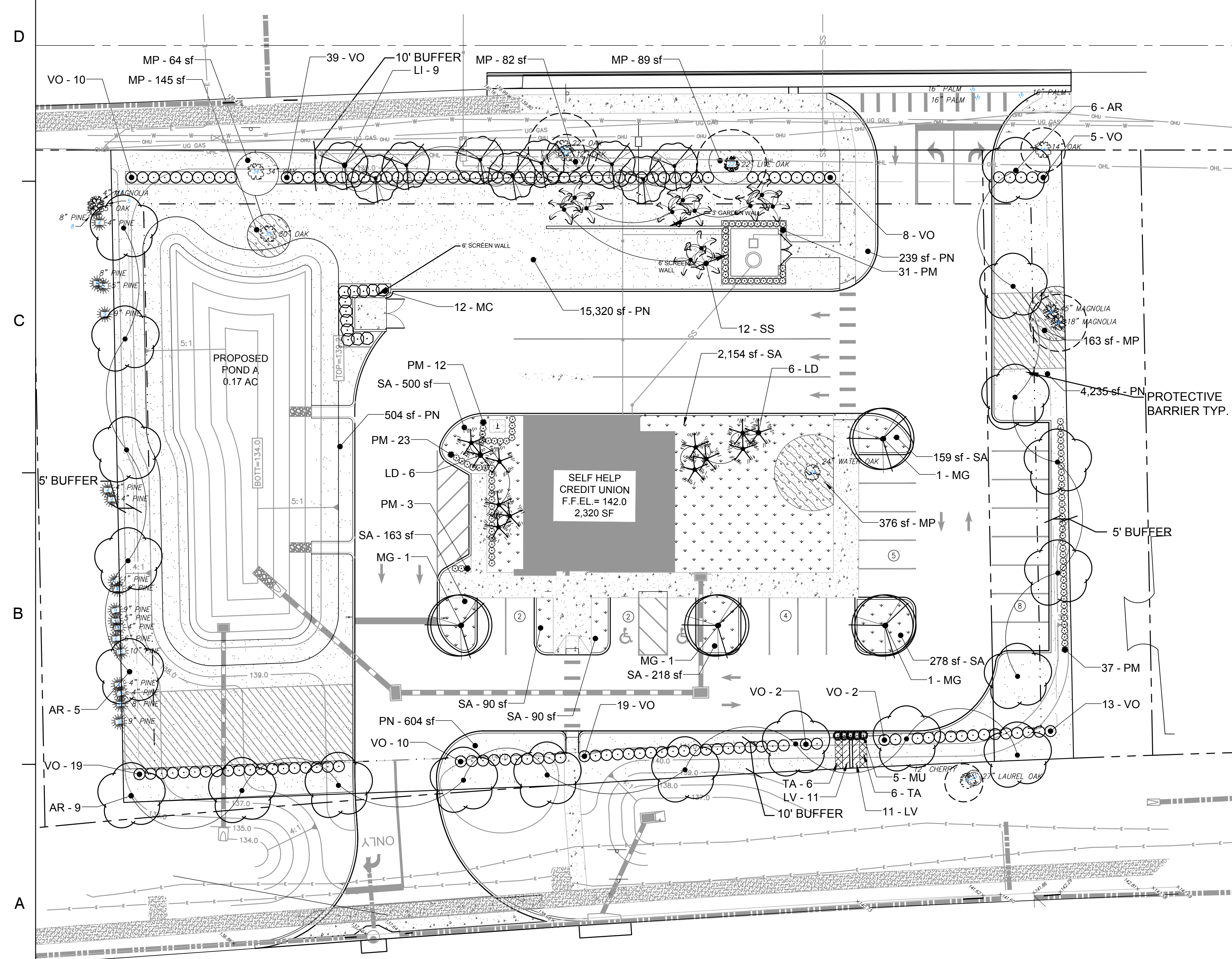
IRRIGATION NOTES:

- ALL PLANT WATER USE ZONES SHALL BE IRRIGATED SEPARATELY.
- TURF AREAS SHALL BE IRRIGATED WITH SPRAY HEADS AND SHALL BE IRRIGATED SEPARATELY FROM SHRUBS.
- TREES SHALL BE IRRIGATED SEPARATELY WITH BUBBLERS.
- ALL TURF, SHRUBS AND GROUND COVER AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM AND BE DESIGNED WITH 100% COVERAGE.
- EXISTING TREES TO REMAIN SHALL NOT BE IRRIGATED AND SHALL NOT HAVE ANY PIPING OR HEADS WITHIN THE ROOT PROTECTION ZONES.
- IRRIGATE ALL LANDSCAPED AREAS UP TO PROPERTY LINES, ROW'S.
- FULL IRRIGATION DESIGN PLAN TO BE SUBMITTED WITH FINAL SITE PLAN SUBMITTAL.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	REMARKS	
	AR	20	Acer rubrum / Red Maple	--		2-1/2" DBH		
	LI	9	Lagerstroemia indica / Crape Myrtle	15 gal		2-1/2" DBH		
	LD	12	Livistona decipiens / Livistona Palm	15 gal		10' - 14' CT		
	MG	4	Magnolia grandiflora / Southern Magnolia	15 gal		3" DBH		
	SS	12	Sabal palmetto / Cabbage Palmetto	15 gal		10' - 14' CT		
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT.	SIZE	REMARKS		
	MU	5	Muhlenbergia capillaris / Pink Muhly	1 gal				
	MC	12	Myrica cerifera / Wax Myrtle	5 gal	36" HT & 24" SPR			
	PM	106	Podocarpus macrophyllus / Yew Pine	5 gal	36" HT & 24" SPR			
	VO	127	Viburnum odoratissimum / Sweet Viburnum	5 gal	36" HT & 24" SPR			
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	FIELD3	SPACING	REMARKS
	LV	22	Liriope muscari 'Variegata' / Variegated Lily Turf	1 gal	FULL		18" o.c.	
	MP	1,800 sf	Mulch - / Shredded Hardwood Mulch	flat				3" Depth
	PN	20,903 sf	Paspalum notatum / Bahia Grass	sod				
	SA	2,772 sf	Stenotaphrum secundatum 'Floritam' / Floritam St. Augustine Sod	sod				
	TA	12	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine	flat				24" o.c.

INTERIOR VUA LANDSCAPE AREA DIAGRAM
 N.T.S.



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



SMOOTH FACE ARCHITECTURE CMU

SPLIT FACE ARCHITECTURE CMU

SPLIT FACE ARCHITECTURE CMU

PAINTED FIBER CEMENT TRIM

PAINTED FIBER CEMENT PANELS & TRIM

ARCHITECTURAL SHINGLES

MODULAR FACE BRICK

ACCENT FACE BRICK



Self-Help
Federal Credit Union

PAINTED FIBER CEMENT TRIM

PAINTED FIBER CEMENT PANELS & TRIM

ARCHITECTURAL SHINGLES

MODULAR FACE BRICK

ACCENT FACE BRICK

SMOOTH FACE ARCHITECTURE CMU

SPLIT FACE ARCHITECTURE CMU

SPLIT FACE ARCHITECTURE CMU

**DUNN &
DALTON**
ARCHITECTS

Self Help Credit Union- Apopka, FL Branch
Proposed Exterior Rendering

November 2, 2017

This is a conceptual rendering for illustrative purposes only. Design is subject to change and actual construction may vary. This drawing is the property of Dunn & Dalton Architects, P.A. This drawing is not to be copied in whole or in part. This drawing or the information hereupon is not to be used without written permission and must be returned to Dunn & Dalton, P.A. upon request. Copyright 2017 Dunn & Dalton Architects, P.A.



SPLIT FACE ARCHITECTURE CMU

SMOOTH FACE ARCHITECTURE CMU

ARCHITECTURAL SHINGLES

PAINTED FIBER CEMENT TRIM

PAINTED FIBER CEMENT PANELS & TRIM

ACCENT FACE BRICK

MODULAR FACE BRICK



ARCHITECTURAL SHINGLES
PAINTED FIBER CEMENT TRIM

PAINTED FIBER CEMENT PANELS & TRIM

SPLIT FACE ARCHITECTURE CMU

SMOOTH FACE ARCHITECTURE CMU

SPLIT FACE ARCHITECTURE CMU



PAINTED FIBER CEMENT PANELS & TRIM

ARCHITECTURAL SHINGLES

PAINTED FIBER CEMENT TRIM

PAINTED FIBER CEMENT PANELS & TRIM

MODULAR FACE BRICK

ACCENT FACE BRICK

SPLIT FACE ARCHITECTURE CMU



MODULAR FACE BRICK

ACCENT FACE BRICK

PAINTED FIBER CEMENT TRIM

PAINTED FIBER CEMENT PANELS & TRIM

ARCHITECTURAL SHINGLES

SPLIT FACE ARCHITECTURE CMU



PAINTED FIBER CEMENT

PRE-FINISHED ALUM. COPING

SPLIT FACE ARCHITECTURE CMU

SMOOTH FACE ARCHITECTURE CMU

BOLLARD POST BEHIND DUMPSTER



Drawing Index

Civil

- C-00 COVER SHEET
- C-01 - C-02 GENERAL NOTES
- C-03 EXISTING CONDITIONS
- C-04 SITE AND GEOMETRY PLAN
- C-05 PAVING, GRADING AND DRAINAGE PLAN
- C-06 S.R. 500 IMPROVEMENTS PLAN
- C-06.1 S.R. 500 IMPROVEMENTS CROSS SECTIONS AND NOTES
- C-07 STORMWATER POLLUTION PREVENTION PLAN & DETAILS
- C-08 UTILITY PLAN
- C-08.1 LIFT STATION
- C-09 PAVING, GRADING AND DRAINAGE DETAILS
- C-10 CITY OF APOPKA GENERAL NOTES
- C-11 UTILITY DETAILS
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- E2.1 LIGHTING PHOTOMETRIC PLAN
- E2.2 ELECTRICAL SITE PAN

Self Help Credit Union Apopka

City of Apopka, Florida
(Minor) Final Development Plan
August 14, 2017

Client:
Dunn & Dalton Architects

Project Information

Owner/Applicant
Self-Help Federal Credit Union
301 West Main Street
Durham, NC 27701
Phone: 919.956.4672
Contact: Randy Chambers

Civil Engineer
Dewberry Engineers, Inc.
800 N. Magnolia Avenue
Orlando, FL 32083
Phone: 407.843.5120
Contact: Reinardo Malave, PE

Land Surveyor
Dewberry Engineers, Inc.
800 North Magnolia Avenue
Suite 1000
Orlando, Florida 32803
Ph. 407.843.5120
Contact: William D. Donley, P.S.M.

Architectural / Structural
Dunn & Dalton Architects
401 N. Heritage St.
Kinston, NC 28501
Phone: 252.527.1523
Contact: Richard A. King, AIA

Geotechnical Engineer
Geotechnical and Environmental
Consultants, Inc.
919 Lake Baldwin Lane
Orlando, FL 32814
Phone: 407.898.1818
Contact: Craig G. Ballock, PE

Potable Water
City of Apopka Public Services
748 E. Cleveland Street
Apopka, FL 32703
Phone: 407.703.1731
Contact: R. Jay Davoll, PE

Sanitary Sewer
City of Apopka Public Services
748 E. Cleveland Street
Apopka, FL 32703
Phone: 407.703.1731
Contact: R. Jay Davoll, PE

Electric
Duke Energy
2501 25th Street N.
St. Petersburg, FL 33713
Phone: 727.893.9394
Contact: Megan Vonsteina

Communications
Advanced Cable Solutions, Inc.
331 Oleander Way #1011
Casselberry, FL 32707
Phone: 407.883.8881
Contact: Robert Ford

American Traffic Solutions
1150 N. Alma School Road
Mesa, AZ 85201
Phone: 480.596.4595
Contact: Santiago Martinez

Charter Communications
3787 All American Blvd.
Orlando, FL 32810
Phone: 407.532.8509
Contact: Marvin Usry Jr.

Centurylink
33 N. Main Street Ste. 144
Winter Garden, FL 34787
Phone: 407.814.5293
Contact: George McElvain

AT&T
1120 S. Rogers Cir.
Boca Raton, FL 33847
Phone: 561-997-0240
Contact: Dino Farruggio

Natural Gas
Lake Apopka Natural Gas District
1320 Winter Garden Vineland Road
Winter Garden, FL 34787
Phone: 407.656.2734
Contact: Antonio Gibson



Legal Description

LOTS 1-12, INCLUSIVE, AND LOTS 51 AND 52, AND THE WEST HALF OF THE VACATED STREET ADJOINING THE EAST BOUNDARY AND THE EAST HALF OF THE VACATED STREET ADJOINING THE WEST BOUNDARY, BLOCK D, OF NELLIE GRAY GROVE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK M, PAGE 106, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION CONSTITUTING THE RIGHT OF WAY FOR U.S. HIGHWAY 441, AKA STATE ROAD NUMBER 500.

Location Map



S : 09 | T : 21 S | R : 28 E



Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS - 8794

Self Help Credit Union
667 W. Orange Blossom Trail

(Minor) Final Development
CITY OF APOPKA, FLORIDA

SEAL
Christopher J. Allen
FL PE # 77719
Jan 30, 2018

KEY PLAN

SCALE NORTH

No.	DATE	BY	Description
1			

REVISIONS
DRAWN BY _____ GL
APPROVED BY _____ RM
CHECKED BY _____ CJA
DATE 08-14-2017

TITLE

COVER SHEET

PROJECT NO. 50094806 [CRUN1]

C-00

SHEET NO.

1 GENERAL

- 1. Unless otherwise specified, all construction shall be performed consistent with the most recent publication of the following codes, standards and specifications as well as the latest editions of all other applicable specifications & standards:
- City of Apopka
- St. Johns River Water Management District (SJRWMD)
- Florida Department Of Environmental Protection (FDEP)
- Florida Department Of Transportation (FDOT)
- Americans with Disabilities Act (ADA) by U.S. Department Of Justice
- "Manual On Uniform Traffic Control Devices" (MUTCD) published by the U.S. Department of Transportation, Federal Highway Administration
2. All construction is to be governed by all applicable federal, state and local laws, ordinances, building and safety codes.
3. In the event that any standards or specifications as described herein are in conflict with each other, or that shown in the plans, the more stringent criteria will apply. Contractor shall notify the engineer of record immediately and in writing should the more stringent criteria be unclear, for engineer's interpretation of the more stringent criteria to be used.
4. These plans were based on the boundary & topographic survey by Dewberry.
5. All elevations shown on these drawings refer to national geodetic vertical datum (NAVD 80).
6. These plans were based on a report by a Geotechnical and Environmental Consultants, Inc. (report # 4053G). It is the contractor's responsibility to acquire a copy of the report(s) from the geotechnical engineer, familiarize themselves with the conditions as described in the report(s), and comply with all recommendations made in the report(s) specifically for soil preparation on the site. It is the contractor's responsibility to obtain a copy all supplemental reports for this project from the owner and to follow the supplemental reports' recommendations.
7. Geotechnical recommendations or recommendations as provided in supplemental reports by others are not the responsibility of Dewberry Engineers, Inc., who has relied upon the referenced geotechnical report(s) in the preparation of the plans. Any conflict between information contained in the report(s) and these plans shall be reported to the engineer and owner immediately and in writing. Dewberry Engineers, Inc. assumes no responsibility for the correctness, completeness, or accuracy of the report(s). When the plans and/or specifications contain the results of a soils survey, the contractor shall not assume the information is a guarantee of the depth, extent or character of material present. It is the responsibility of the contractor to make a necessary examination of the site and of any material sources indicated on the plans to be informed of the conditions under which construction is to occur.
8. The contractor shall obtain from the owner copies of permits for all agencies having jurisdiction, such as governmental, regulatory or local entities. The contractor shall be expected to review and abide by all the terms, conditions, requirements and limitations set forth in all of these permits. A copy of the permits shall be kept on the construction site and made available for review at all times.
9. The standards and specifications as listed herein, the geotechnical report(s), boundary and topographic survey(s), and required permits are hereby incorporated along with the plans by Dewberry Engineers, Inc. as the complete "Site Civil Construction Documents."
10. If items appearing to be historical or archeological artifacts are discovered at any time during construction within the project limits, immediate notification shall be provided to the owner, the engineer, and the Bureau of Historical Preservation, Division of Historical Resources R.A. Gray Building, 500 S. Bronough St. Tallahassee, Florida 32399-0250.

CONTRACTOR RESPONSIBILITIES

- 1. Contractor shall familiarize himself with the site, including all surface and subsurface conditions, the work required and all other conditions that may affect the successful completion of the job prior to commencement of work.
2. The location of existing utility services, facilities, and structural features shown on these plans have been determined from the best information and are provided for the convenience of the contractor. The engineer does not guarantee the accuracy or the completeness of the location information provided. Any inaccuracy or omission in such information shall not relieve the contractor of his responsibility to protect the existing features from damage or unscheduled interruption of service. Should a discrepancy arise between these plans and actual field conditions, which would appreciably affect the execution of these plans, the contractor shall stop all construction and notify the engineer immediately.
3. The contractor shall give all notices and comply with all laws, ordinances, rules, regulations and permit conditions bearing on the conduct of the work, as drawn and specified. If the contractor observes that the drawings and specifications are at variance therewith, he shall promptly notify the engineer, in writing, and any necessary changes shall be adjusted, as provided in the agreement for changes in the work.
4. The contractor shall be responsible for the maintenance of all landscape buffers, retention and detention facilities until the project has been accepted by the owner. All disturbed areas shall be returned to equal or better condition.
5. The contractor shall be responsible to the owner and the engineer for the acts and omissions of contractor's employees and all his subcontractors and their agents and employees and other persons performing any of the work under a contract with the contractor.
6. All work and furnished materials shall be in reasonable conformity with the lines, grades, grading sections, cross sections, dimensions, material requirements and testing requirements that are specified in the contract, plans, details or specifications.
7. The contractor shall be responsible for making all necessary arrangements with governmental departments, public utilities, public carriers, service companies, and corporations owning or controlling roadways, railways, water, sewer, gas, electrical, telephone, and telegraph facilities such as pavements, tracks, piping, wires, cables, conduits, poles, guys, or other similar facilities, including incidental structures connected therewith that are encountered in the work in order that such items may be properly supported, protected or located.
8. Prior to commencing work, the contractor shall furnish, erect and maintain all barricades, lights, warning signs, and pavement markings for hazards and the control of traffic through the construction zone in conformity with the all agencies having jurisdiction standards to effectively prevent accidents at all locations where construction causes an obstruction to the normal flow of traffic or creates a hazard in any way to the public.
9. In the event the contractor discovers any errors or omissions in the plans he shall immediately notify the owner or owner's agent.
10. The contractor shall comply with all legal load restrictions in the hauling of materials on public roads beyond the limits of the work. A special permit will not relieve the contractor of liability for any damage that may result from the moving of materials

- and equipment.
11. The contractor shall be responsible for protecting all existing survey monumentation, such as the preservation of all permanent reference monuments, permanent control points, permanent bench marks, property corners, points or markers. In the event any monumentation is disturbed, it shall be restored by a Florida licensed surveyor and mapper selected by the owner at the contractor's expense.
12. The owner, owner's representatives and inspectors of applicable government agencies having jurisdiction, shall at all times have access to the work site wherever and whenever it is in preparation or progress. The contractor shall provide proper facilities for such access and inspections.
13. It is the contractor's responsibility to take all reasonable and prudent precautions to insure that all completed work, materials and equipment stored on site are safe and secured from unauthorized access or use. Such precautions may include installation of signs, fences, or posting of security guards.
14. Contractor shall, at all times, utilize all normally accepted and reasonably expected safety practices and comply with all federal, state and local regulations, ordinances and guidelines pertaining to safe utilization of equipment or materials as published by manufacturer.
15. Adequate traffic control, signage, barricades and flagman services shall be furnished and maintained by the contractor at all points where construction equipment engaged in work enters onto or crosses functioning traffic-carrying roadway.
16. Those parts of work in place that are subject to damage because of operations being carried on adjacent thereto shall be covered, boarded up or substantially enclosed with adequate protection by the contractor at contractor's expense, protecting work completed.
17. The contractor shall comply in every respect with the Federal Occupational Health and Safety Act of 1970 and all rules and regulations now or hereafter in effect under said Act, and the contractor further agrees to comply with any and all applicable state laws and regulations pertaining to job safety and health.
18. The contractor shall protect and keep owner (including their agents and employees) free and harmless from any and all liability, public or private, penalties, contractual or otherwise, losses, damages, costs, attorney's fees, expenses, causes of action, claims or judgments resulting from the Federal Occupational Health and Safety Act of 1970 as amended or any rule or regulation promulgated thereunder or of any state laws or regulations pertaining to job safety and health arising out of or in any way connected with the performance of work or work to be performed under this contract, owner may immediately take whatever action is deemed necessary by owner to remedy the claimed violation. Any and all costs or expenses paid or incurred by owner in taking such action shall be borne by contractor, and contractor agrees to protect, hold harmless and indemnify owner against any and all such costs or expenses.
19. The contractor shall take all reasonable precautions for the safety of, and shall provide all reasonable protection to prevent damage, injury or loss to:
a. All employees on the work site and all other persons who may be affected thereby;
b. All the work and all materials and equipment to be incorporated therein, whether in storage on or off the site, under the care, custody or control of the contractor or any of its subcontractors; and
c. Other property at the site or adjacent thereto, including trees, shrubs, lawns, walks, pavements, roadway, structures and utilities not designated for demolition in the course of construction.
20. The contractor shall comply with all applicable safety codes and with all applicable laws, ordinances, rules, regulations and lawful orders of any public, quasi public or other authority having jurisdiction for the safety of persons or property or for their protection against damage, injury or loss, or designed to protect the environment. The contractor shall erect and maintain, as required by existing conditions and progress of the work, all reasonable safeguards for safety and protection, including posting danger signs and other warnings against hazards, promulgating safety regulations and notifying owners and users of adjacent utilities of the existence of hazards and of the safety regulations.
21. All damage or loss to any property referred to in herein caused in whole or in part by the contractor, a subcontractor, or by anyone for whose acts any of them may be liable, shall be remedied by the contractor, except damage or loss properly attributable solely to the acts or omissions of the owner, or the engineer or anyone employed by them, or for whose acts any of them may be liable, and not properly attributable in whole or in part, to the fault or negligence of the contractor.
22. Until final acceptance of the work by owner, the contractor shall have the charge and care of and shall bear the risk of injury or damage, loss or expense to any part thereof, or to any materials stored on site, by the action of the elements or from any other cause whether arising from the execution or non-execution of the work. The contractor shall rebuild, repair, restore and make good all injuries or damages to any portion of the work occasioned by any of the above causes before final acceptance and shall bear the expenses thereof.
23. The contractor shall be responsible for meeting all inspection criteria and schedules, and signing for said inspections.
24. The contractor shall control and be responsible for their operations and those of their subcontractors and all suppliers, to assure the least inconvenience to the public. The contractor shall maintain free and unobstructed movement of vehicular traffic and shall limit their operations in relation to the safety and convenience of the traveling public. Under all circumstances, safety shall be the most important consideration.
25. The contractor shall familiarize himself with the policies and guidelines established by all agencies having jurisdiction for the preservation of all public and private property. The contractor shall be responsible for all damage or injury to property of any character, during the execution of the work, resulting from any act, omission, neglect, or misconduct in their manner or method of executing the work, or at anytime due to defective work or materials.
26. The contractor shall not excavate, remove, or otherwise disturb any material, structure or part of a structure which is located outside the lines, grades or grading sections established for this project, except where such excavation or removal is provided for in the contract, plans or specifications.
27. The contractor should verify the quantities and lengths of materials shown on the plans. Any discrepancy between material callouts and actual shown in plan view is to be brought to the engineer's attention by the contractor prior to bidding. It is the engineer's intention to construct what is shown on the plans.
28. Any discrepancy between the dimensions and measurements shown on the plans and the actual field conditions shall immediately be brought to the engineer's

attention. Failure to do so and to continue construction shall make the contractor responsible for all errors and necessary corrections that may subsequently arise.

EROSION CONTROL

- 1. The contractor shall comply with all federal, state and local laws and all regulations controlling pollution of the environment.
2. The contractor shall develop and implement a stormwater pollution prevention plan (SWPPP) according to EPA/FDEP NPDES criteria to minimize erosion and insure proper functioning of storm water management system upon completion of construction. In addition to meeting EPA/FDEP NPDES criteria, the SWPPP shall be submitted to and comply with local agency having jurisdiction's minimum erosion control criteria.
3. Contractor shall execute all measures necessary to limit the transportation of sediments outside the limits of the project to the volume and amount as those that exist prior to commencement of construction. This condition must be satisfied until project is fully completed and accepted. Contractor shall provide routine maintenance on temporary erosion control features at his expense. Provision must be made to preserve the integrity and capacity of check weirs, sediment basins, slope drains, grading patterns, etc. Required to meet this provision through out the life of construction. Contractor shall provide synthetic hay bales, silt barriers, murrum filters, temporary grassing, etc., as required to fully comply with the intent of this specification. Contractor shall provide continuous monitoring of erosion and sediment controls taken and shall document all corrective measures. A copy of the approved SWPPP shall be kept on site at all times for review by owner's representative and by NPDES inspectors.
4. The owner and/or contractor shall provide a notice of Intent in accordance with criteria set forth in the NPDES permit requirements 48 hours prior to beginning construction, clearing, or demolition.
5. Provide effective temporary and permanent erosion control following the requirements in FDOT INDEX NO. 104 and 105 of the Florida Department of Transportation Design Standards and Specifications (current edition).
6. Inlets and catch basins shall be protected from sedimentation resulting from surface runoff until completion of all construction operation that may cause sediment runoff. Filter fabric shall be placed and maintained under the grate and filter socks placed in front of the throat of curb inlets, during construction.
7. Turbidity barriers must be installed at all locations where the possibility of transferring sediments and suspended solids into the receiving water body exists due to construction. Turbidity barriers shall remain in place until construction is completed, soils are stabilized and vegetation has been established.

DEMOLITION AND CLEARING

- 1. Prior to construction, the contractor shall clearly designate the limits of construction on-site. The contractor shall not perform any work outside the limits of construction.
2. The contractor shall be extremely cautious when working near trees that are to be saved, whether shown in the plans or designated in the field.
3. All practical and necessary effort shall be taken during construction to prevent unnecessary tree removal.
4. Any proposed cut or fill material to be removed or placed within the drip line of specimen trees to remain, including trenching for proposed improvements such as utilities, will require the advanced pre-treatment of each impacted tree by a qualified arborist or at the direction of the landscape architect to minimize the potentially adverse impacts of construction.
5. Tree protection barricades or equivalent protective measures will be constructed according to the local jurisdiction's criteria for trees to remain within the limits of construction.
6. In areas requiring fill material, the contractor shall strip or otherwise remove all vegetation such as brush, heavy sods, heavy growth of grass, decayed vegetation matter, rubbish and any other deleterious material before embankment is placed. Immediately prior to the placing of fill material, the entire area upon which fill is to be placed, shall be scarified in a direction approximately parallel to the axis of fill. The geotechnical engineer shall approve the area prior to the placement of fill.

PAVING, GRADING & DRAINAGE

- 1. The contractor shall perform all work pertaining to drainage including excavation of stormwater management ponds or equivalent facilities prior to the commencement of other work included in these plans.
2. The contractor shall stake all improvements using the record plat. The contractor shall verify with the engineer that the plat is correct prior to any construction. If a plat does not exist, contractor is to verify use of the survey for layout with engineer prior to starting work. It is the contractor's responsibility to completely stake and check all improvements to insure correct positioning, both horizontal and vertical, including minimum building setbacks prior to the installation of any improvement. Any discrepancy between platted information and the plans shall be reported to the engineer immediately and in writing.
3. Prior to initiating any excavation (including but not limited to tunnels, ditches, storm water ponds, canals, artificial lakes) contractor shall install fences and take all other reasonable and prudent steps to insure that access to excavation by unauthorized personnel is prevented.
4. All drainage structures are to be traffic bearing unless otherwise noted. All precast circular structures shall be constructed with a minimum 5-inch wall thickness.
5. All proposed paving surfaces in intersections and adjacent existing sections shall be graded to drain positively in the direction shown by the proposed grades and flow arrows on the plans and to provide a smoothly transitioned driving surface for vehicles with no sharp breaks in grade, and no unusually steep or reverse cross slopes. Approaches to intersections and entrance and exit grades to intersections may require minor local field adjustments should actual conditions vary from the surveyed information the design was based upon in order to accomplish the intent of the plans. In addition, the standard crown will have to be changed in order to drain positively in the area of intersections. It is the contractor's responsibility to accomplish the above and consult the engineer as needed to make any and all required interpretations of the plans or give supplementary instructions should the intent of the plans be unclear.
6. Construction of roadways shall meet the minimum standards and specifications of the local agency(ies) having jurisdiction and the minimum suggested sections as outlined in the soils report's recommendations, unless otherwise noted.
7. The contractor is responsible for removing any excess cuts or supplying fill as necessary to grade the site to the proposed elevations as designed within the construction documents.
8. If limestone bedrock is encountered during excavation of the retention basins or a sinkhole or solution cavity forms during construction, excavation of the basin must be halted immediately, the owner, engineer, and water management district must

- be notified, and remedial action will be required. The permittee must inspect all permitted surface water management basins monthly for the occurrence of sinkholes and document these inspections on water management district condition compliance form number EN-33. Two copies of the completed forms must be sent to the water management district and the local agency having jurisdiction annually by May 31st of each year. The permittee must report any sinkhole that develops within the surface water management system. The permittee must notify the water management district and local agency having jurisdiction of any sinkhole development in the surface water management system within 48 hours of its discovery and complete sinkhole repair within 10 days of such discovery using a district approved methodology.
9. After the roadway has been constructed to subgrade, it shall be proof-rolled to assure that proper compaction has been attained. The proof-rolling and compaction operations shall be inspected and tested by a Florida licensed geotechnical engineer to assure that the specified compaction is maintained and all deleterious materials have been removed.
10. The contractor shall insure that a minimum soil density of 98% compaction is achieved unless otherwise noted for placement of all headwall/retention wall footings, retaining wall footings, and in general, any footing support described on these plans. It will also be the responsibility of the contractor to insure that sufficient geotechnical testing and design has been performed prior to construction.
11. Blue reflective pavement markers shall be placed in the center of the driving lane opposite each fire hydrant.
12. Storm pipe lengths shown on the plans include mitered end sections. If the contractor elects to use an approved alternate, the pipe lengths must be adjusted.
13. Inlet offsets are to the centerlines shown on F.D.O.T. design standards indexes.
14. The contractor is responsible for paving all roadways to drain positively. Intersections shall be transitioned to provide a smooth driving surface while maintaining positive drainage. If an area of poor drainage is observed, the contractor shall notify the engineer prior to paving. All reinforced concrete pipe (R.C.P.) shall be minimum Class III, unless otherwise approved or noted on the plans or specifications, so that a solution or recommendation for correction may be made.
15. All reinforced concrete pipe (R.C.P.) shall be minimum Class III, unless otherwise approved or noted on the plans or specifications.
16. All stormwater pipe joints shall be wrapped with filter fabric.

PUBLIC RIGHTS-OF-WAY

- 1. The contractor shall coordinate all work within public rights-of-way with the respective local agency(ies) having jurisdiction (city or county) Director of Public Works and the jurisdiction's engineer. In addition, any work within a state road right-of-way must be approved and coordinated with the FDOT through the local maintenance office for each district.
2. Prior to performing any work within any public or utility right-of-way, contractor shall obtain authorization and permit from all jurisdictions responsible for such right-of-way.
3. Prior to performing any work within any public right-of-way, contractor shall develop and submit a maintenance of traffic plan to the local agency having jurisdiction over said ROW for their approval. This plan must meet the minimum requirements as outlined in the "Manual On Uniform Traffic Control Devices" published by the U.S. Department of Transportation, Federal Highway Administration and the Florida Department Of Transportation Index 600; specifically 601, 602 and 603.

UTILITIES

- 1. The existing utilities shown are approximate. The contractor shall field locate all existing utilities as to size, location, and elevation. The contractor shall notify the engineer of any and all conflicts prior to beginning construction.
2. The contractor shall be responsible for locating and verifying size, type, location, and elevation of all existing utilities prior to construction and notifying the involved utility providers to make any necessary arrangements for relocation, disruption of service, or clarification of activity regarding said utility. The contractor shall use extreme caution when crossing an underground utility, whether shown on these plans or field located. The respective utility providers shall relocate utilities that interfere with the proposed construction and the contractor shall cooperate with the utility providers during relocation operations. Any delay or inconvenience caused by the involved utilities shall be incidental to the contract. The contractor shall conform to Florida Statute Chapter 556 and the Sunshine State One-Call of Florida. Contractor shall notify all utility owners and the Sunshine Underground Utilities Notification Center at 1-800-432-4770 at least 72 hours prior to start of work. Contractor is responsible for continual maintenance of all utility locates, flags, marking, etc. before through the entire duration of construction.
3. Utility services to the proposed building(s) shall terminate 5 feet outside of the building unless otherwise noted. Prior to construction, the contractor shall review building architectural and plumbing plans to verify proper continuation of the proposed utilities for location, alignment and elevation(s) for each service to the building(s). Should utility service laterals shown on the site civil construction plans not correspond with building architectural or plumbing plans the contractor shall notify the engineer immediately.
4. The power distribution system shall be designed and installed by the power service provider. The contractor shall coordinate with said power service provider to insure proper construction phasing is achieved, and to allow the installation of street crossings, sleeves, conduits, poles, transformers, and other required equipment. It is the owner's responsibility to acquire any necessary easements as a result of the power service provider's design and respective installation locations.
5. The telephone, cable TV, data, and/or communication systems shall be designed and installed by their respective service provider. The contractor shall coordinate with said service provider to insure proper construction phasing is achieved, conflict free, and to allow the installation of street crossings, sleeves, conduits, poles, and other required equipment. It is the owner's responsibility to acquire any necessary easements as a result of the service providers' designs and respective installation locations.
6. It is the contractor's responsibility to properly coordinate the final designs and subsequent installations of all service providers' utilities and their minimum criteria as set forth therein for items such as maintaining the minimum separation distances between the various utilities.
7. Unless otherwise noted, the top 24 inches of all utility trenches within roadways in maximum 12" lifts, shall be compacted to 98% of the modified proctor maximum density; all other utility trenches shall be compacted to 95% of the modified proctor maximum density.
8. The contractor shall notify the applicable utilities construction department for the corresponding local utility a minimum of 48 hours prior to starting any utilities construction.
9. Pipe alignment, deflection, and utility testing shall be performed by the 'lampin'

method and utilizing video inspection. The contractor shall perform internal video inspection for the gravity sewer to check pipe alignment and deflection.

- 11. All fire hydrants and apparatus must comply with FFPC Section 3-5.6 and Section 3-7.1 when applicable.

POTABLE WATER

- 1. All PVC watermains 2" or less shall be SDR21 (200 psi) unless otherwise noted.
2. Water mains shall comply with AWWA standards. All PVC pipe 3 to 12 inches shall be AWWA C900 DR15; all PVC pipe 14 inches and larger shall comply with AWWA C905 DR25. All water mains shall bear the NSF logo and shall be color-coded or marked using blue as a predominant color to differentiate drinking water from other water lines.
3. Where ductile iron pipe is required for water mains, it shall conform to ANSI/AWWA A21.51. A minimum thickness for pressure class 350 per ANSI/AWWA shall be supplied. Dip sizes up to 12 inches in diameter shall be pressure Class 350. Dip sizes 14 inches and larger shall be pressure Class 250.
4. All water main fittings, valves, restrainers, couplings, pipe, and in general, those materials required for installing the water supply system, shall comply with the minimum material standards, ratings and classifications established by the respective utility provider. All water main fittings shall be DIP for all 3" thru 12" PVC and DIP water mains conforming to the requirements of ANSI/AWWA C153/A21.53 and epoxy coated exterior, unless noted otherwise. These fittings shall incorporate restraining rings, mega-fugs or other approved equivalent mechanical devices.
5. Ductile iron pipe and fittings shall have a cement mortar interior lining conforming to the requirements of ANSI/AWWA C104/A21.4.
6. Valves for potable and raw water mains shall be ductile iron (D.I.) epoxy coated gate valves or butterfly valves. See specifications for details.
7. All polyethylene pressure pipe and fittings 4-inch and larger shall conform to AWWA Standard C906-99 (DR11) Pressure Class 160 and ASTM Standard D3350, D2837 PE 3408.
8. All polyethylene pipes for service tubing shall conform to AWWA Standard C901 (DR9) Pressure Class 200 and Standard D2737 PE 3408.
9. All pipe and polyethylene service tubing shall bear the National Sanitation Foundation (NSF) seal of approval for potable water service.
10. PVC pipe less than 2-inches shall conform to ASTM D1785. Threaded pipe and fittings shall be Sch. 80 and conform to ASTM D2464. Unthreaded pipe and fittings shall be Sch. 40 with solvent-cemented joints. Cemented joints and fittings shall comply with ASTM D2466 and D2855.
11. 2", 2 1/2" and 3" PVC pipe shall conform to ASTM D2241. Pipe shall be furnished in 20-foot lengths, shall have dimension ratio (DR21) and a water pressure rating of 200 psi.
12. Pipe measurements shall be center to center of fittings or valves.
13. Contractor shall provide temporary thrust restrainers, bracing, test plugs and/or other devices necessary to successfully complete pressure testing of all pressure piping systems, ancillary to the work.
14. Automatic air release/vacuum air release valves for underground installation shall conform with 62-555.320(2)(b)FAC & RSWW 8.4.2.
15. All buried piping specified for pressure service shall be provided with restraining devices at all directional changes, unless noted otherwise.
16. All fasteners shall be manufactured of non-corrosive materials.
17. Locations and dimensions of existing rights-of-way and easements are based on the best available information. The contractor shall verify all the limits of rights-of-way and easements in order to avoid encroachments.
18. The contractor shall repair or replace with equal materials in kind or as directed by the owner or inspector any items disturbed or damaged by the utility construction or its related activities for items such as but not limited to, paving, stabilized earth, driveways, etc.
19. Contractor shall paint the hydrants according to fire department requirements.
20. Where applicable fire hydrants shall be installed within the ROW.
21. Proper backflow prevention assemblies shall be provided in accordance with Rule 62-555.360, F.A.C. and AWWA Manual M14, "Recommended Practice for Backflow Prevention And Cross Connection Control" (latest editions) as incorporated in rule 62-555-330 FAC. The method of connection to the existing active main shall be noticed to ensure that the pressure does not drop below 20psi otherwise a boil water notice is required to be issued by the utility supplying the water.
22. Contractor shall coordinate with agency having jurisdiction and water service provider to have water samples taken at locations as specified by their minimum standards and as outlined in the Florida Department Of Environmental Protection permit for construction of the water distribution system (if permit is required). Documentation of the minimum testing results such as bacteriological reports with residual CL levels shall be submitted to the engineer within 4 days from the day of sample. It is the contractor's responsibility to review and verify the results as passing prior to submittal to the engineer.
23. All water mains shall be hydrostatically tested and disinfected in accordance with AWWA Standards, latest revisions. Hydrostatic testing for PVC mains shall be 150 psi for minimum of 2 hours and meet AWWA Standard C605M23. Ductile iron mains shall be tested at 150 psi for 2 hours per AWWA C600. All new mains shall be disinfected per AWWA Standard C651. Bacteriological tests for 2 consecutive days shall be approved prior to placing system into service.
24. All water mains shall have an "Early Warning" protection tape installed continuously along the entire length. The protection tape shall be installed during the backfilling 6 to 12 inches below finish grade directly over the pipe and be continuously marked with "Caution - Water Main Buried Below". The tape shall have an embedded metallic detectable strip and be blue in color for potable water.
25. The contractor shall submit shop drawings on all equipment and materials for approval to the engineer and water service provider prior to procurement.



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SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.9100
ENGINEERING BUSINESS - 8794

Self Help Credit Union
667 W. Orange Blossom Trail
(Minor) Final Development
CITY OF APOPKA, FLORIDA

SEAL
Christopher L. Allen
FL P.E. # 77719
Jan 30, 2018

KEY PLAN
SCALE NORTH

Table with 4 columns: No., DATE, BY, Description

REVISIONS
DRAWN BY: GL
APPROVED BY: RM
CHECKED BY: CJM
DATE: 06-14-2017
TITLE:

GENERAL NOTES

PROJECT NO. 50094806 [CRUN1]

C-01

SHEET NO.



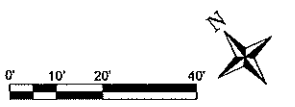
**Self Help Credit Union
667 W. Orange Blossom Trail**
(Minor) Final Development
CITY OF APOPKA, FLORIDA

Christopher J. Allen
FL REG. # 7719
Jan 30, 2018

SEAL

KEY PLAN

SCALE NORTH



No.	DATE	BY	Description

REVISIONS

DRAWN BY _____ GL
APPROVED BY _____ RM
CHECKED BY _____ CJA
DATE 08-14-2017

TITLE

SITE AND GEOMETRY PLAN

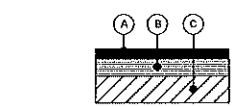
PROJECT NO. 50094006 [CRUN1]

C-04

SHEET NO.

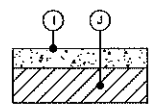
SITE DATA

1. PARCEL NUMBER 09-21-28-5900-04-010
2. PROJECT LOCATION 667 W. ORANGE BLOSSOM TRAIL
3. EXISTING LAND USE VACANT
4. PROPOSED LAND USE DRIVE THRU BANK
5. EXISTING ZONING C2
6. EXISTING FUTURE LAND-USE COMMERCIAL
7. CURRENT VEGETATION TREES AND GRASS
8. FLOOD INFORMATION ZONE 'X'
(PER MAP No.12095C0120F, SEP. 25, 2009)
9. SETBACKS
FRONT: 10'
SIDE: 10'
REAR: 50' (FROM CENTER LINE OF ROAD OLD DIXIE HWY.)
10. TOTAL PROJECT AREA 1.37 AC (59,765 SF)
11. EXISTING IMPERVIOUS 0.00 SF
12. PROPOSED IMPERVIOUS 27,123 SF (45.4%)
BUILDING: 2,320.0 SF
POND: 7,405 SF (12.4%)
OPEN SPACE: 25,237 SF (42.2%)
FAR 0.039
13. PARKING
REQUIRED (1 SPACE PER 200 SF)
DRIVE-THRU BANK: 2,320 SF / 200 = 13 PARKING SPACES.
PROVIDED PARKING SPACES ON SITE = 21 (INCLUDING 2 HANDICAP)
14. FIRE PROTECTION TO BE PROVIDED VIA EXISTING FIRE HYDRANT
15. DUMPSTER PROVIDED ON SITE FOR REFUSE COLLECTION
16. POTABLE WATER PROVIDED BY CITY OF APOPKA UTILITIES
17. SANITARY SEWER PROVIDED BY CITY OF APOPKA UTILITIES
18. NOISE FROM DRIVE THROUGH SPEAKERS SHALL NOT CROSS PARCEL LINES
19. ALL CROSSACCESS EASEMENT DOCUMENTS MUST BE ACCEPTED BY THE CITY ENGINEER AND RECORDED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY



- (A) 1.5' FOOT TYPE SP 9.5 ASPHALTIC WEARING SURFACE.
- (B) 8' LIMEROCK OR CRUSHED CONCRETE BASE 90% MODIFIED PROCTOR MAXIMUM DRY DENSITY, (AASHTO T-160) LBR OF AT LEAST 100.
- (C) 12' SUBBASE STABILIZED TO MINIMUM 98% OF THE MODIFIED PROCTOR (AASHTO T-160) TO YIELD A MINIMUM LBR = 40.

PROPOSED ASPHALT PAVEMENT

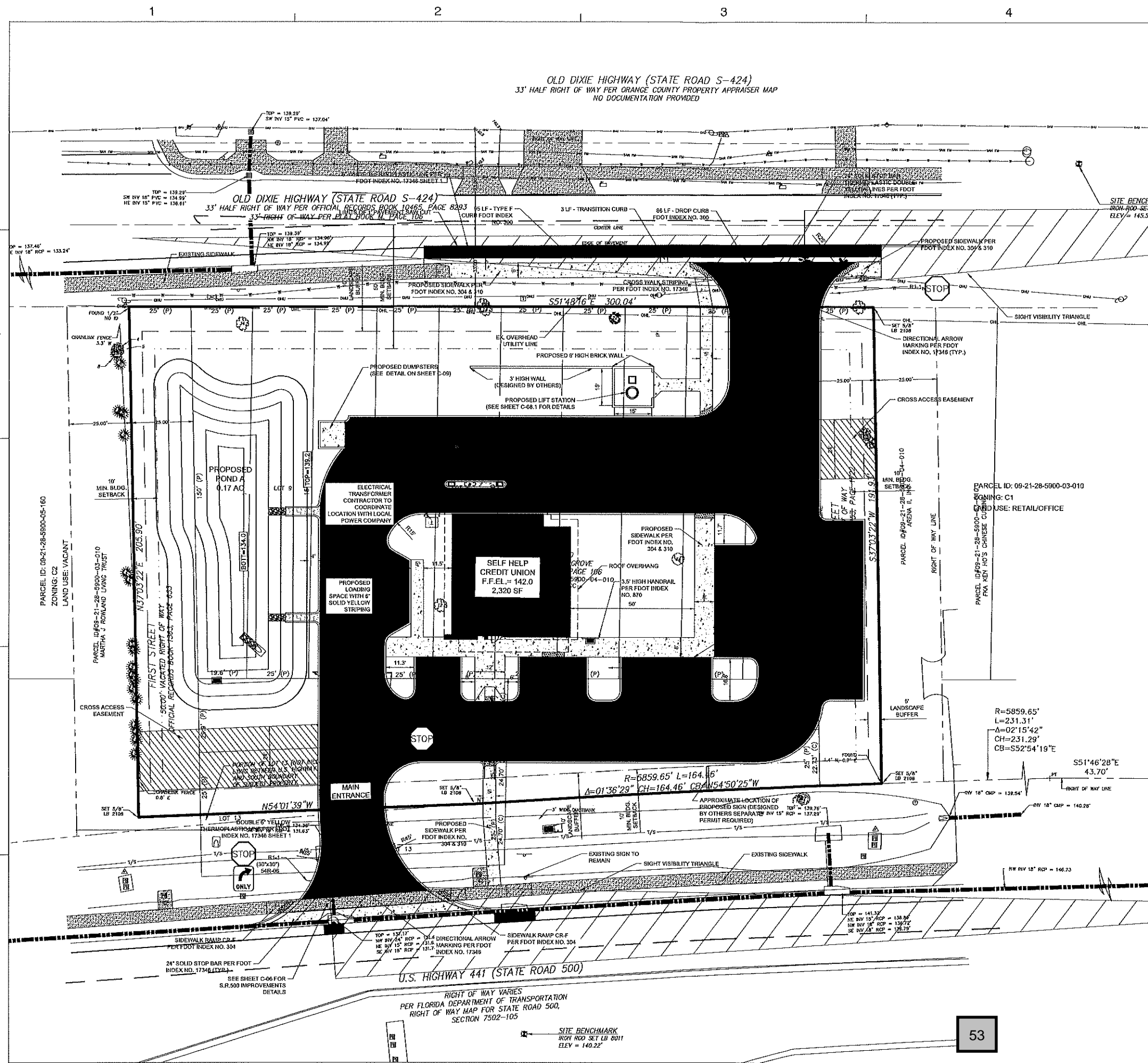


- (I) 6' TYPE 1 PORTLAND CEMENT CONCRETE WITH A 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS WHEN TESTED ACCORDING TO ASTM C-39. 12 X 1/2" CONTROL JOINT SPACING W/ MIN. 1-1/2" SAWCUT DEPTH.
- (J) 18" MIN. CLEAN, FINE SAND SUBGRADE WITH LESS THAN 10% PASSING A NO. 200 SIEVE, COMPACTED TO AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.

PROPOSED CONCRETE PAVEMENT

LEGEND

- PARCEL BOUNDARY _____
- MAJOR CONTOUR _____
- MINOR CONTOUR _____
- EX. CONC. SIDEWALK [Pattern]
- PROP. CONC. SIDEWALK [Pattern]
- PROP. LIGHT DUTY ASPHALT PAV. [Pattern]



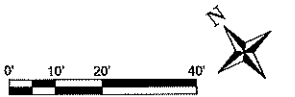
**Self Help Credit Union
 667 W. Orange Blossom Trail**

(Minor) Final Development
 CITY OF APOPKA, FLORIDA

SEAL
 CHRISTOPHER J. ALLEN
 P.E. # 77719
 JUN 30, 2018

KEY PLAN

SCALE NORTH



No.	DATE	BY	Description

REVISIONS

DRAWN BY	GL
APPROVED BY	RM
CHECKED BY	CJA
DATE	08-14-2017

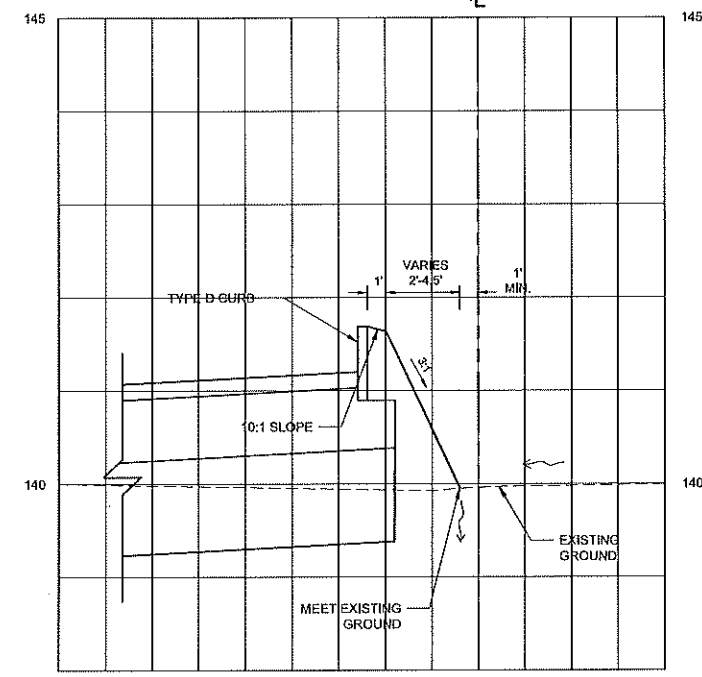
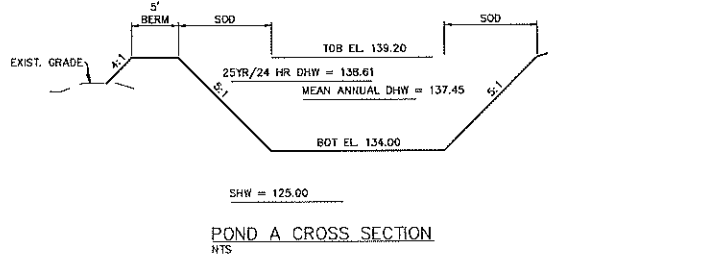
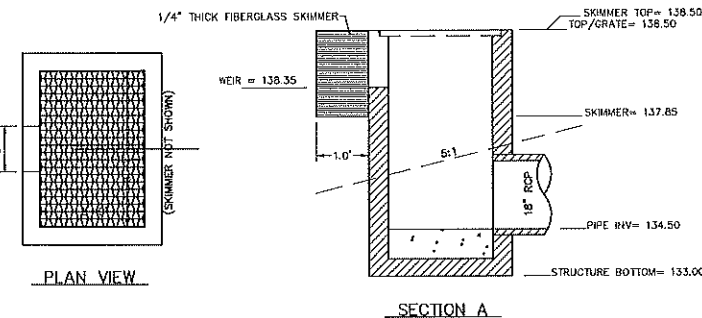
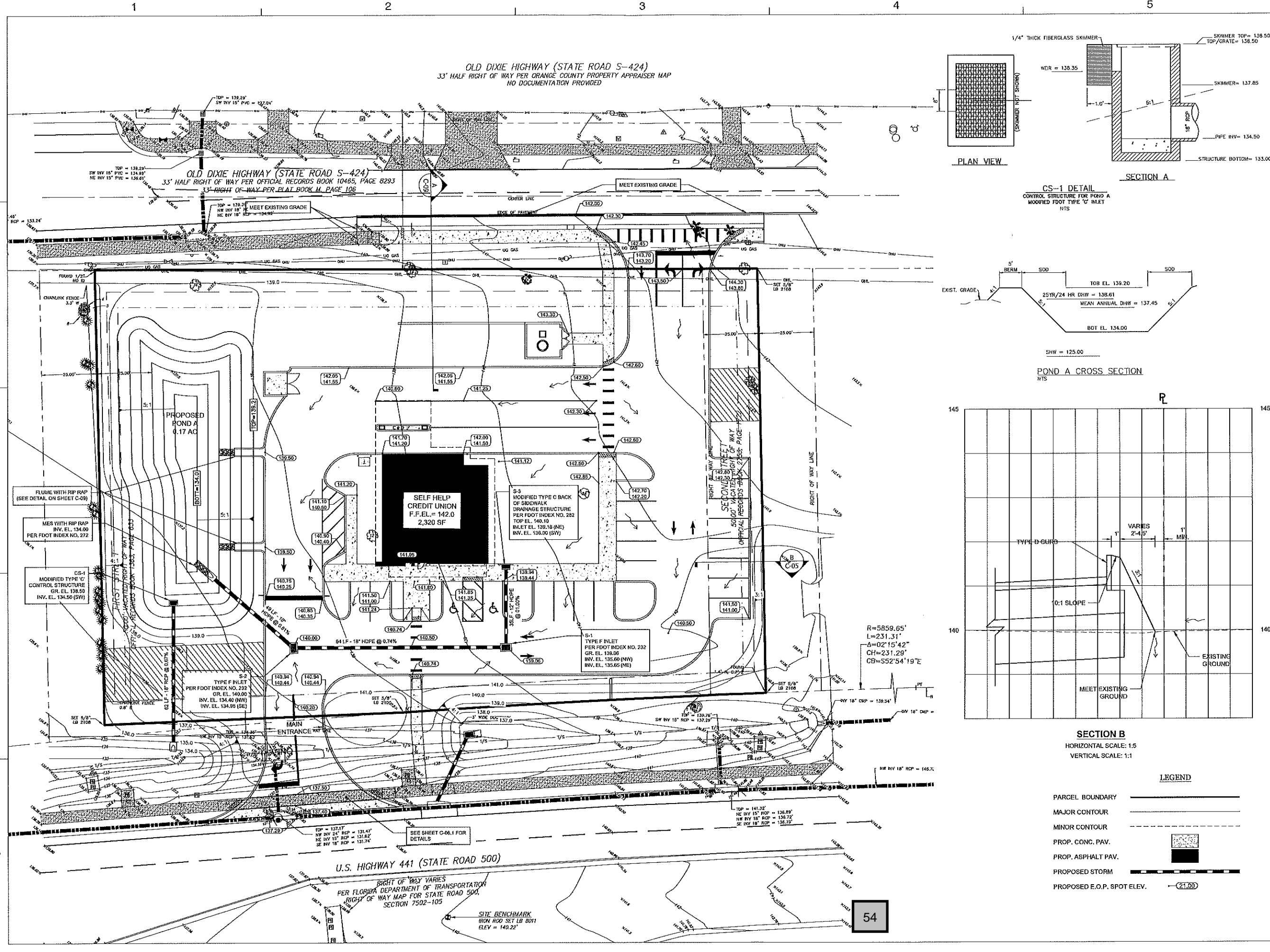
TITLE

**PAVING, GRADING
 AND DRAINAGE
 PLAN**

PROJECT NO. 50094806 [CRUN1]

C-05

SHEET NO.



SECTION B
 HORIZONTAL SCALE: 1:5
 VERTICAL SCALE: 1:1

- LEGEND**
- PARCEL BOUNDARY
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - PROP. CONC. PAV.
 - PROP. ASPHALT PAV.
 - PROPOSED STORM
 - PROPOSED E.O.P. SPOT ELEV.

SWPP / EROSION CONTROL PLAN

PROJECT NAME SELF-HELP CREDIT UNION PROJECT # 50094806 FDEP PERMIT# TBD SWFWMD PERMIT # TBD

- SITE PLAN**
1. DRAINAGE PATTERNS (FLOW LINES); SEE GRADING PLANS (SHEET C-05)
 2. SLOPES; SEE GRADING PLANS (SHEET C-05)
 3. AREA DISTURBED/ AREAS NOT TO BE DISTURBED; SEE GRADING PLANS (SHEET C-05)
 4. LOCATION AND DETAILS OF BMPs; SEE THIS SHEET (STRUCTURAL CONTROLS SUCH AS (BUT NOT LIMITED TO) SILT FENCES OR TURBIDITY BARRIERS AND NO. STRUCTURAL CONTROLS SUCH AS (BUT NOT LIMITED TO) ALUM SYSTEMS OR POLYCRILAMIDE)
 5. LOCATION OF WETLANDS AND SURFACE WATERS N/A
 6. LOCATION (LATITUDE AND LONGITUDE) OF ALL OUTFALL(S) TO EXISTING POND, OR SURFACE WATER SEE GRADING PLAN (SHEET C-05)

OTHER INFORMATION

LOCATION (ADDRESS): NORTHEAST CORNER OF U.S. HWY 90 AND SPEARS ST., PACE FL

DESCRIPTION OF CONSTRUCTION ACTIVITIES: RETAIL BUILDING WITH PARKING LOT AND STORMWATER MANAGEMENT & CONVEYANCE SYSTEM

CONSTRUCTION SEQUENCE: EROSION PROTECTION INSTALLATION, REMOVING UNSUBTLE SOIL, CONSTRUCTION OF PROPOSED IMPROVEMENTS.

SOIL TYPES: 44-TROUP LOAMY SAND (A), FILL MATERIAL, SEE GEOTECHNICAL REPORT

DEWATERING METHOD AND LOCATION: ANY DEWATERING REQUIRED BY CONTRACTOR IS TO BE PERMITTED BY THE APPROPRIATE AGENCY. DEWATERING FOR THE PROPOSED POND IS PERMITTED THROUGH NWFWM.

BMPs (DESCRIPTION): SEE THIS SHEET

PERMANENT STABILIZATION (DESCRIPTION): SEE CONSTRUCTION PLANS

PERMANENT STORMWATER MANAGEMENT CONTROL (DESCRIPTION): SEE CONSTRUCTION PLANS

POTENTIAL POLLUTANTS DURING CONSTRUCTION: SEE CONSTRUCTION PLANS

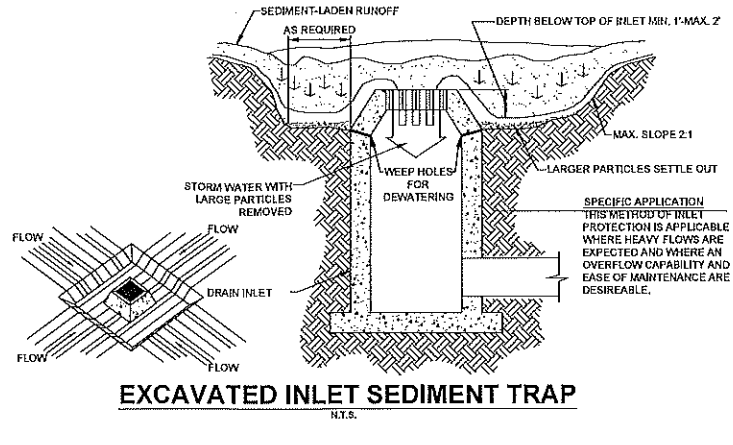
INSPECTIONS: CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5". A RAIN GAUGE WILL BE ONSITE TO MEASURE THE RAINFALL AMOUNTS

ADDITIONAL NOTES

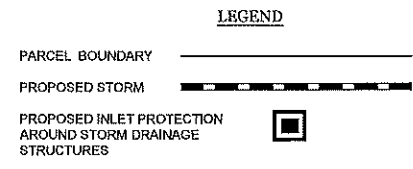
CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL IF IT BECOMES NECESSARY TO MEET STATE AND LOCAL STANDARDS

OPERATOR AND/OR RESPONSIBLE AUTHORITY: SELF-HELP FEDERAL CREDIT UNION

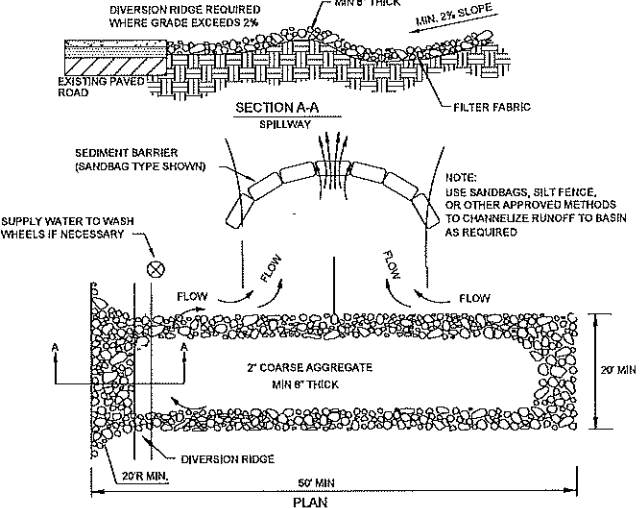
CONTRACTOR: TBD



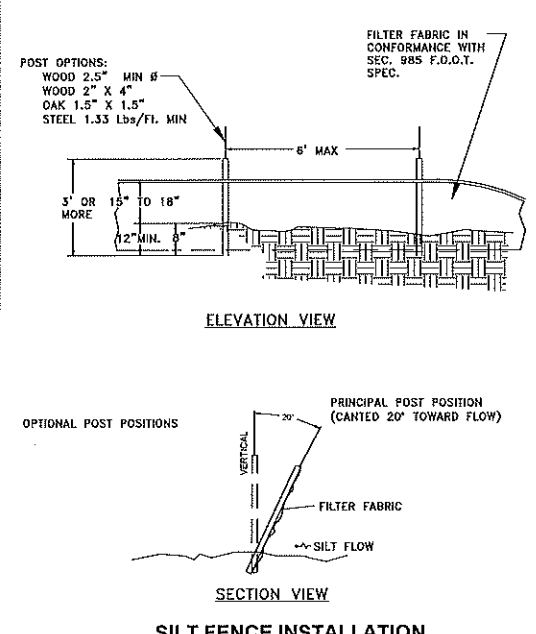
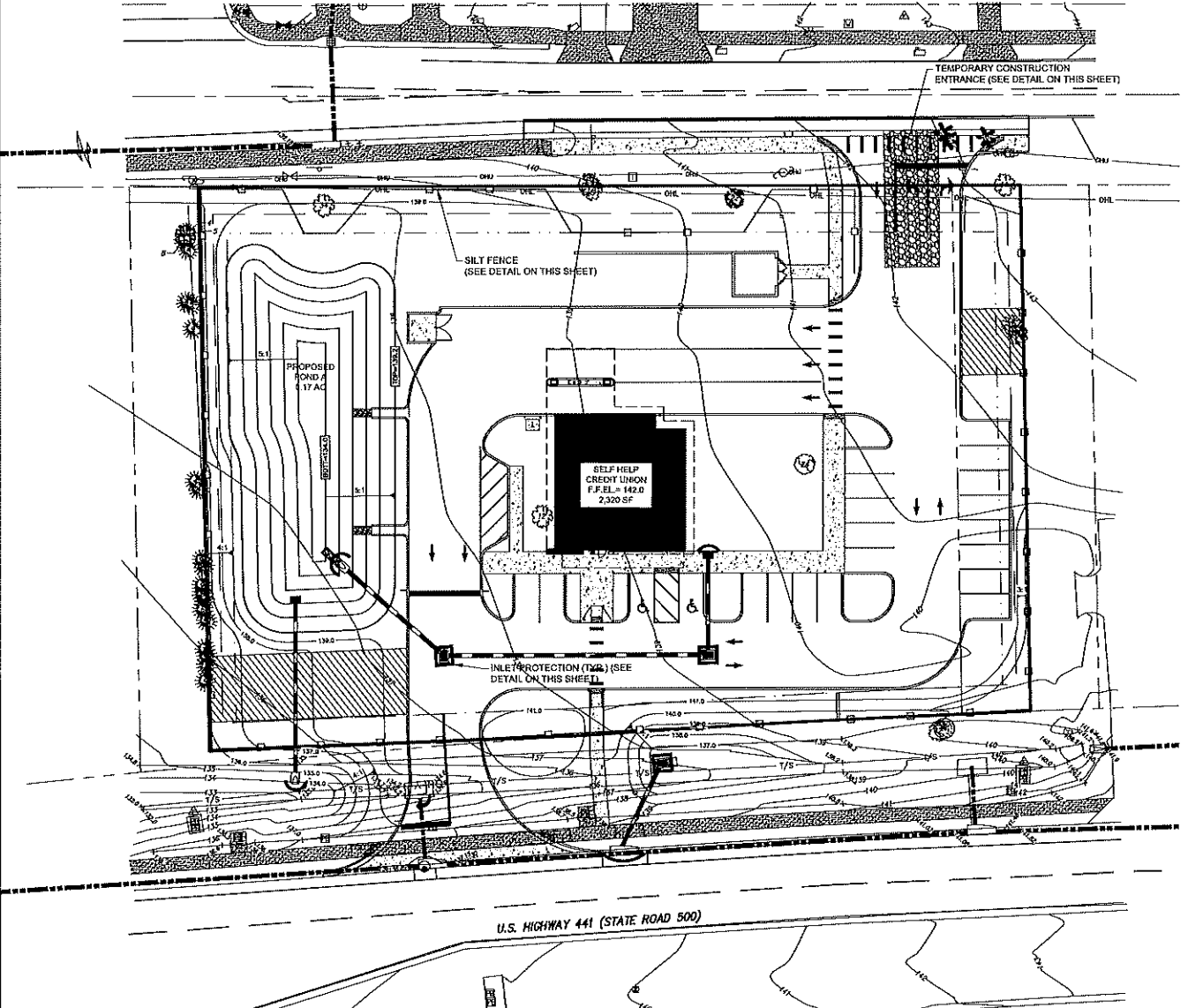
EXCAVATED INLET SEDIMENT TRAP
N.T.S.



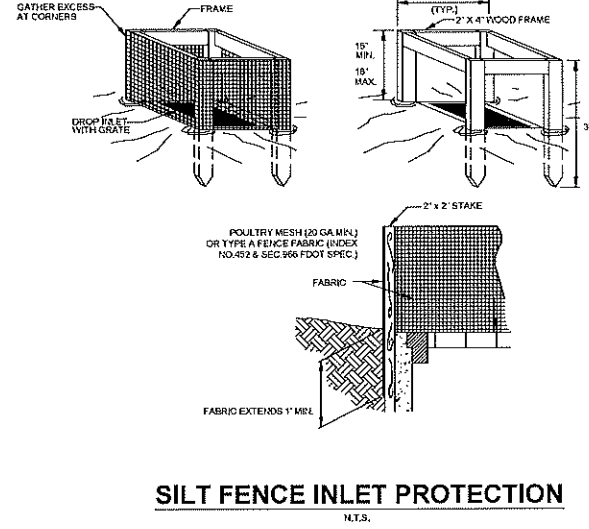
- STABILIZED CONSTRUCTION ENTRANCE**
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES
 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS
 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 6:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACK OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



TEMPORARY CONSTRUCTION ACCESS DETAIL
N.T.S.



SILT FENCE INSTALLATION
CITY OF APOPKA JANUARY 2014 FIG. 602



SILT FENCE INLET PROTECTION
N.T.S.

CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, FLORIDA STATUTES, THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH THE ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE _____ PRINTED NAME & TITLE _____

OWNER NAME _____ OWNER ADDRESS _____

OWNER TELEPHONE _____ DATE _____

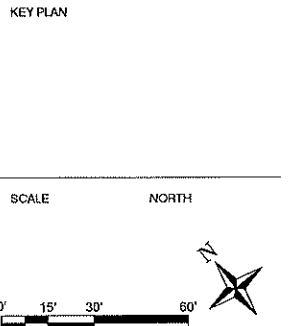
SITE ADDRESS CITY STATE, Z _____ 57 _____



Dewberry Engineers Inc.
600 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS - 8794

Self Help Credit Union
667 W. Orange Blossom Trail
(Minor) Final Development
CITY OF APOPKA, FLORIDA

SEAL
Checked by: J. Allen
File # 17719
Jan 30, 2014



No.	DATE	BY	Description

DRAWN BY _____ GL
APPROVED BY _____ RM
CHECKED BY _____ CJA
DATE _____ 08-14-2017

TITLE
STORMWATER POLLUTION PREVENTION PLAN & DETAILS

PROJECT NO. 50094806 [CHUN1]



C-07

SHEET NO.

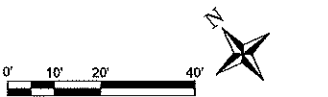
Self Help Credit Union
667 W. Orange Blossom Trail

(Minor) Final Development
CITY OF APOPKA, FLORIDA

SEAL
Christopher J. Blum
FL PE # 77719
Lic. No. 2018

KEY PLAN

SCALE NORTH



No.	DATE	BY	Description

REVISIONS

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APPROVED BY	RM
CHECKED BY	CJA
DATE	08-14-2017

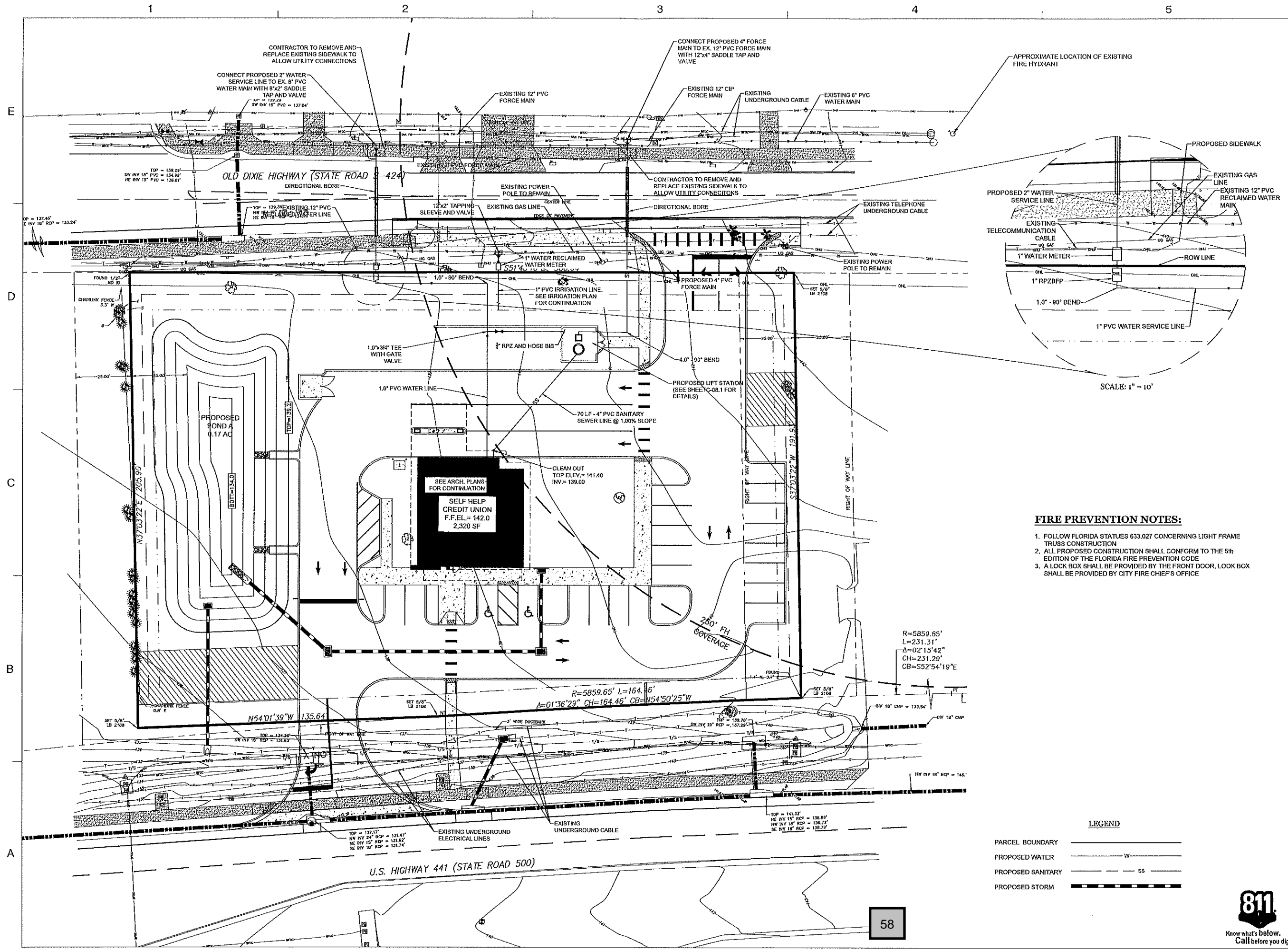
TITLE

UTILITY PLAN

PROJECT NO. 59094806 [CRU1]

C-08

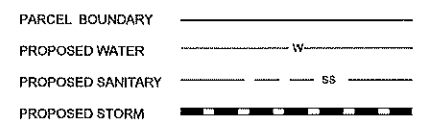
SHEET NO.



FIRE PREVENTION NOTES:

1. FOLLOW FLORIDA STATUTES 633.027 CONCERNING LIGHT FRAME TRUSS CONSTRUCTION
2. ALL PROPOSED CONSTRUCTION SHALL CONFORM TO THE 5th EDITION OF THE FLORIDA FIRE PREVENTION CODE
3. A LOCK BOX SHALL BE PROVIDED BY THE FRONT DOOR. LOCK BOX SHALL BE PROVIDED BY CITY FIRE CHIEF'S OFFICE

LEGEND



No.	DATE	BY	Description

REVISIONS

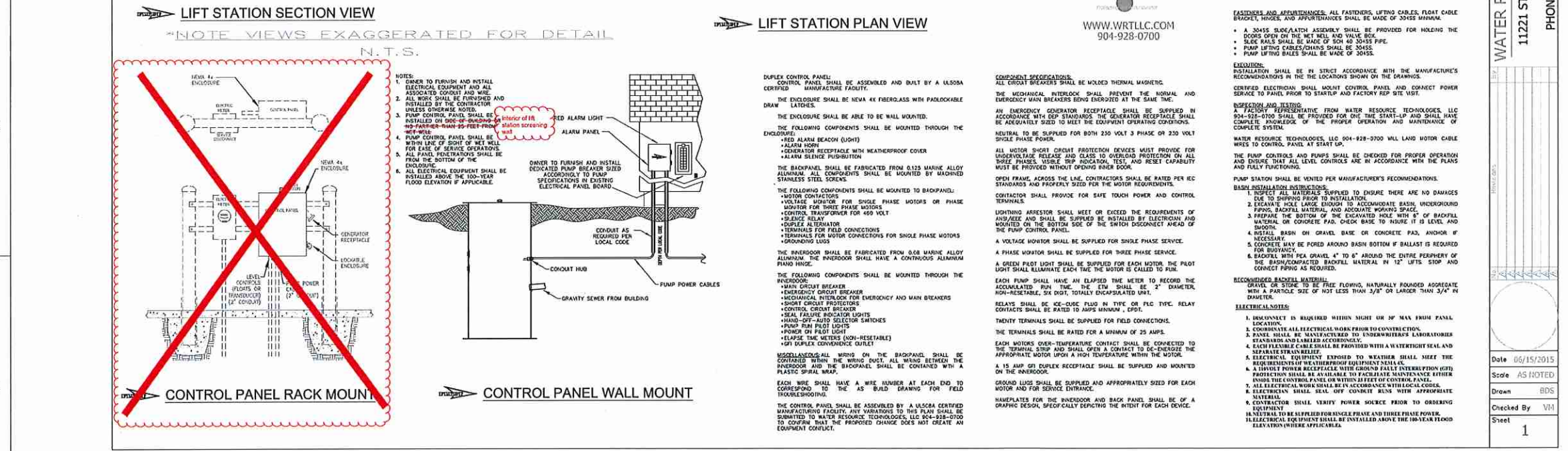
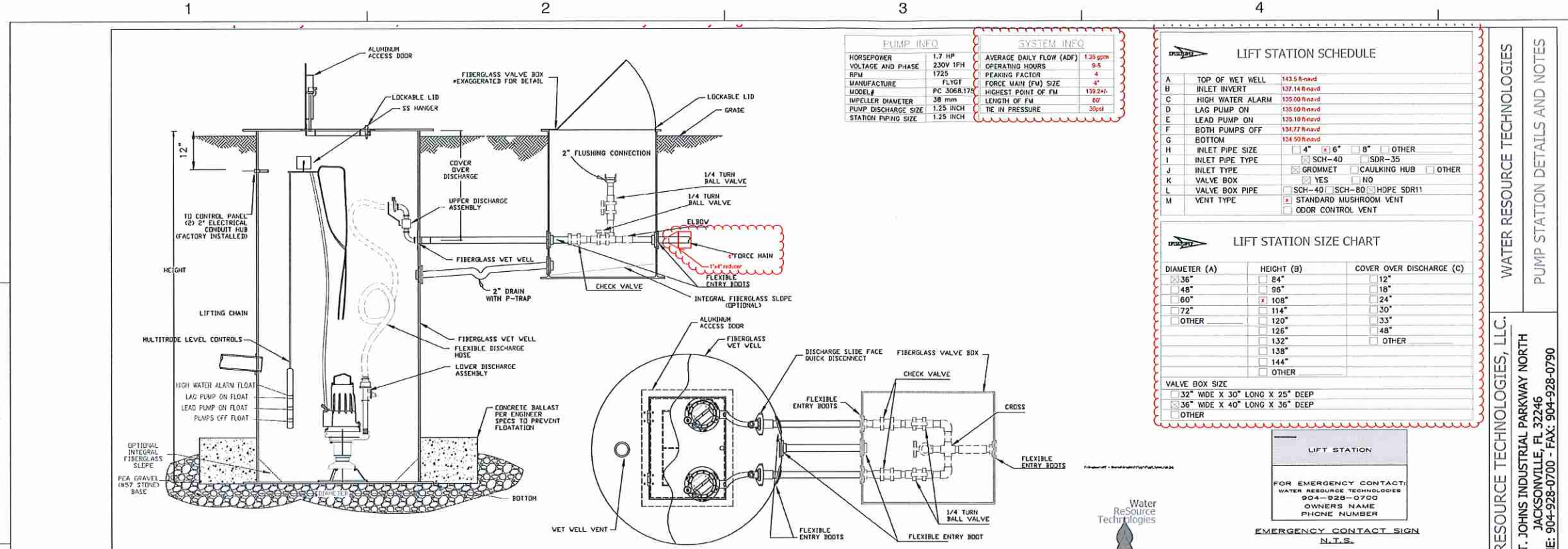
DRAWN BY	GL
APPROVED BY	RM
CHECKED BY	CJA
DATE	08-14-2017
TITLE	

LIFT STATION

PROJECT NO. 50094806 [CRUN1]

C-08.1

SHEET NO.



WATER RESOURCE TECHNOLOGIES, LLC.
11221 ST. JOHNS INDUSTRIAL PARKWAY NORTH
JACKSONVILLE, FL 32246
PHONE: 904-928-0700 - FAX: 904-928-0790

WATER RESOURCE TECHNOLOGIES, LLC.
FOR EMERGENCY CONTACT:
WATER RESOURCE TECHNOLOGIES
904-928-0700
OWNER'S NAME
PHONE NUMBER
N.T.S.

EMERGENCY CONTACT SIGN

FASTENERS AND APPURTENANCES: ALL FASTENERS, LIFTING CABLES, FLOAT CABLE BRACKET, HINGES, AND APPURTENANCES SHALL BE MADE OF 304SS MINIMUM.

- A 304SS SLACK-ALATH ASSEMBLY SHALL BE PROVIDED FOR HOLDING THE DOORS OPEN ON THE WET WELL AND VALVE BOX.
- SLACK BALES SHALL BE MADE OF 50# 48 SWAGE PIPE.
- PUMP LIFTING CABLES/CHAINS SHALL BE 304SS.
- PUMP LIFTING BALES SHALL BE MADE OF 304SS.

INSPECTION AND TESTING:

- A FACTORY REPRESENTATIVE FROM WATER RESOURCE TECHNOLOGIES, LLC 904-928-0700 SHALL BE PROVIDED FOR ONE TIME START-UP AND SHALL HAVE COMPLETE KNOWLEDGE OF THE PROPER OPERATION AND MAINTENANCE OF COMPLETE SYSTEM.
- WATER RESOURCE TECHNOLOGIES, LLC 904-928-0700 WILL LAND MOTOR CABLE WIRES TO CONTROL PANEL AT START-UP.
- THE PUMP CONTROLS AND PUMPS SHALL BE CHECKED FOR PROPER OPERATION AND ENSURE THAT ALL LEVEL CONTROLS ARE IN ACCORDANCE WITH THE PLANS AND FULLY FUNCTIONING.
- PUMP STATION SHALL BE VENTED PER MANUFACTURER'S RECOMMENDATIONS.
- INSPECT ALL MATERIALS SUPPLIED TO ENSURE THERE ARE NO DAMAGES DUE TO SHIPPING PRIOR TO INSTALLATION.
- EXCAVATE HOLE LARGE ENOUGH TO ACCOMMODATE BASIN, UNDERGROUND PIPING, BACKFILL MATERIAL AND ASSOCIATED WORKING SPACE.
- PREPARE THE BOTTOM OF THE EXCAVATED HOLE WITH 8" OF BACKFILL FIBRO POLYMER OR CONCRETE PAD. CHECK BASE TO INSURE IT IS LEVEL AND SMOOTH.
- INSTALL BASIN ON GRAVEL BASE OR CONCRETE PAD, AS NOTED IF NECESSARY.
- CONCRETE BAY BE FORMED AROUND BASIN BOTTOM IF BALLAST IS REQUIRED FOR BUOYANCY.
- BACKFILL WITH PEA GRAVEL 4" TO 6" AROUND THE ENTIRE PERIMETER OF THE BASIN/COMPACTED BACKFILL MATERIAL IN 12" LIFTS, STOP AND CONNECT PIPING AS REQUIRED.

RECOMMENDED BACKFILL MATERIAL:

GRAVEL OR STONE TO BE FREE FLOWING, NATURALLY ROUNDED AGGREGATE WITH A PARTICLE SIZE OF NOT LESS THAN 3/8" OR LARGER THAN 3/4" IN DIAMETER.

ELECTRICAL NOTES:

- ENCLOSURE IS REQUIRED WITHIN 8" OR 16" FROM PANEL LOCATION.
- COORDINATE ALL ELECTRICAL WORK PRIOR TO CONSTRUCTION.
- PANEL SHALL BE MANUFACTURED TO UNDERWRITERS LABORATORY STANDARDS AND LABELED ACCORDINGLY.
- EACH FLEXIBLE CABLE SHALL BE PROVIDED WITH A WATER TIGHT SEAL AND NEARLY STRAIN RELIEF.
- ELECTRICAL EQUIPMENT EXPOSED TO WEATHER SHALL SHEET THE REQUIREMENTS OF WEATHERPROOF EQUIPMENT DETAILS.
- A THIRTYVOLT RECEPTACLE WITH GROUND FAULT INTERRUPTION (GFI) PROTECTION SHALL BE AVAILABLE TO FACILITATE MAINTENANCE EITHER INSIDE THE CONTROL PANEL OR WITHIN 25 FEET OF CONTROL PANEL.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODE.
- ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS WITH APPROPRIATE MATERIAL.
- CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.
- NEUTRAL TO BE SUPPLIED FOR SINGLE PHASE AND THREE PHASE POWER.
- ELECTRICAL EQUIPMENT SHALL BE INSTALLED ABOVE THE 100-YEAR FLOOD ELEVATION (WHERE APPLICABLE).

SEAL	
KEY PLAN	
SCALE	NORTH

No.	DATE	BY	Description

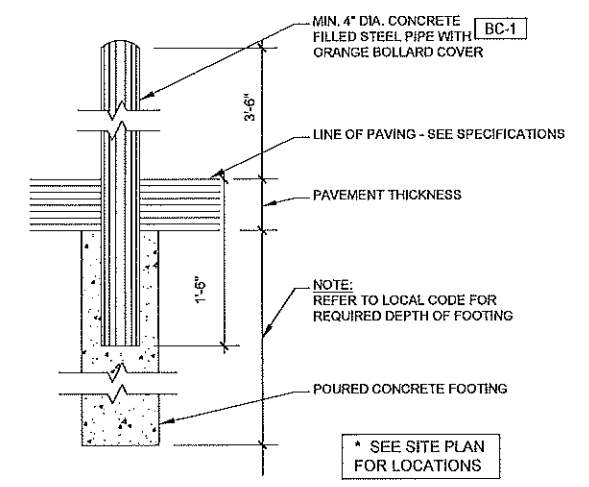
REVISIONS	DATE	BY	DESCRIPTION

PAVING, GRADING AND DRAINAGE DETAILS

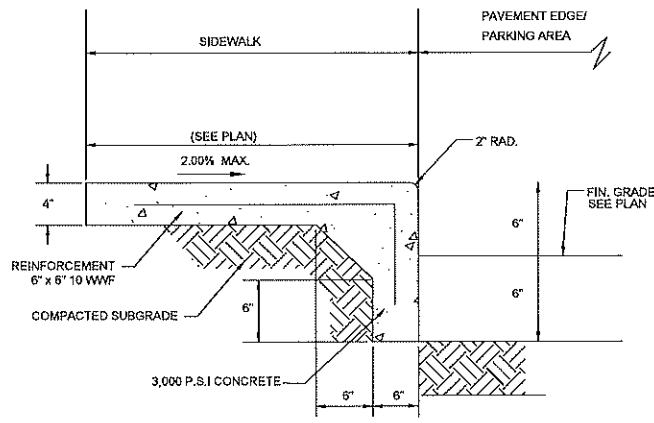
PROJECT NO. 50094809 [CRUN1]

C-09

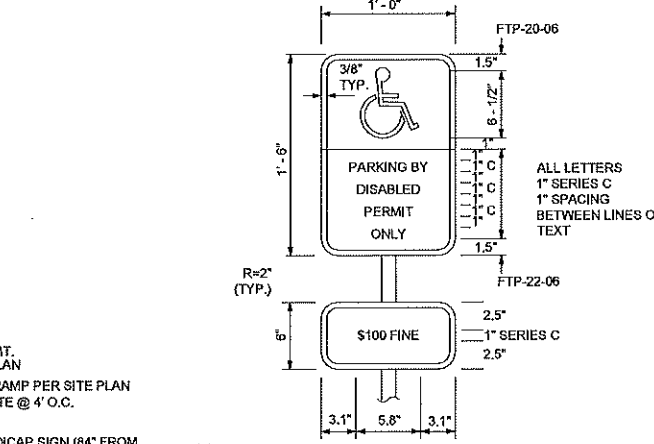
SHEET NO.



CONCRETE BOLLARD DETAIL
N.T.S.

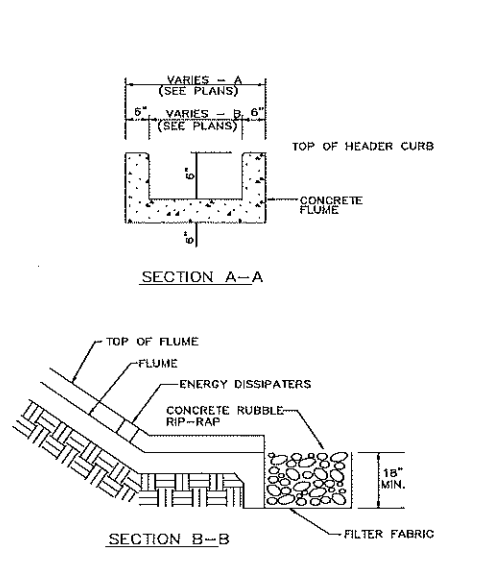


TURNDOWN SIDEWALK DETAIL
N.T.S.

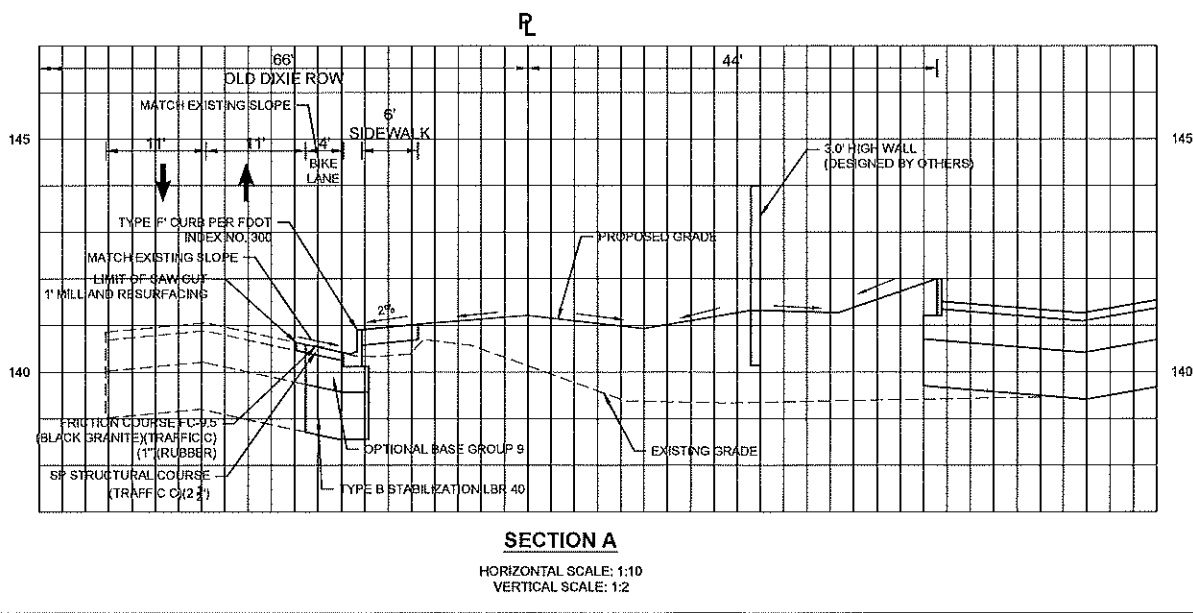


- NOTES:**
1. ALL LETTERS ARE 1" SERIES "C".
 2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND & BORDER.
 3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND & BORDER.
- SIGN FTP-20-06**
1. ALL LETTERS ARE 1" SERIES "C".
 2. BACKGROUND WHITE, LEGEND AND BORDER BLACK.

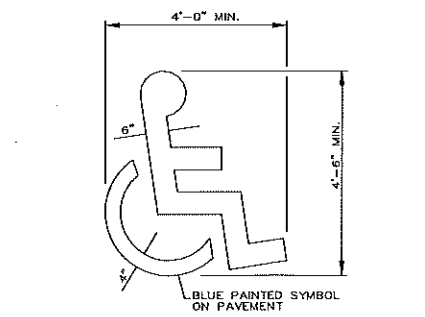
HANDICAP SIGN DETAILS
REFERENCE FDOT INDEX 17355



FLUME DETAIL



SECTION A
HORIZONTAL SCALE: 1:10
VERTICAL SCALE: 1:2

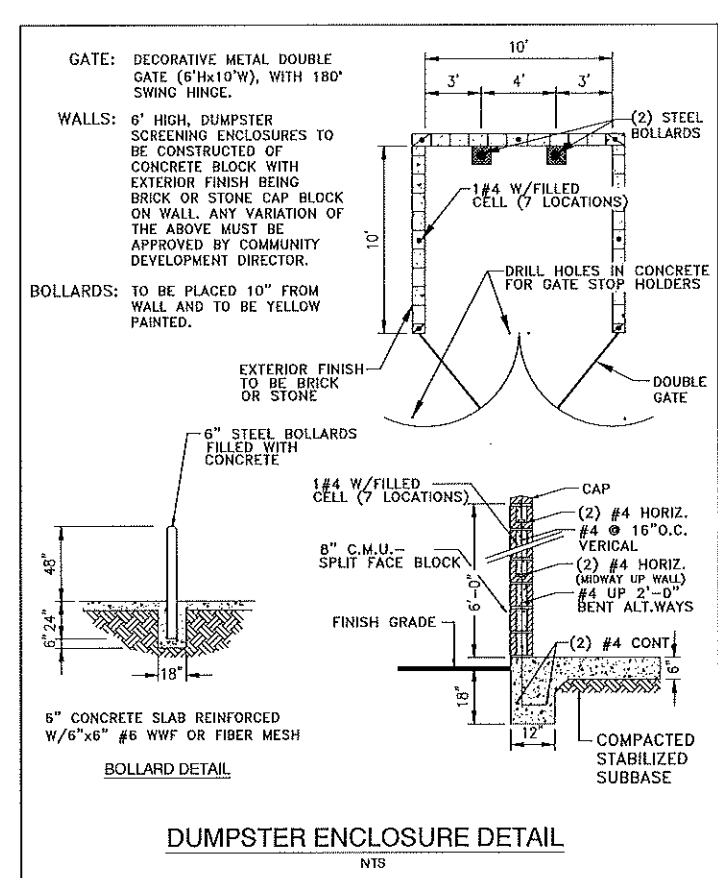


INTERNATIONAL HANDICAP SYMBOL

TYPICAL PAVING LAYOUT

NOTE: WHEEL CHAIR ACCESSIBLE TO BE LOCATED AS SHOWN ON SITE PLAN.

60

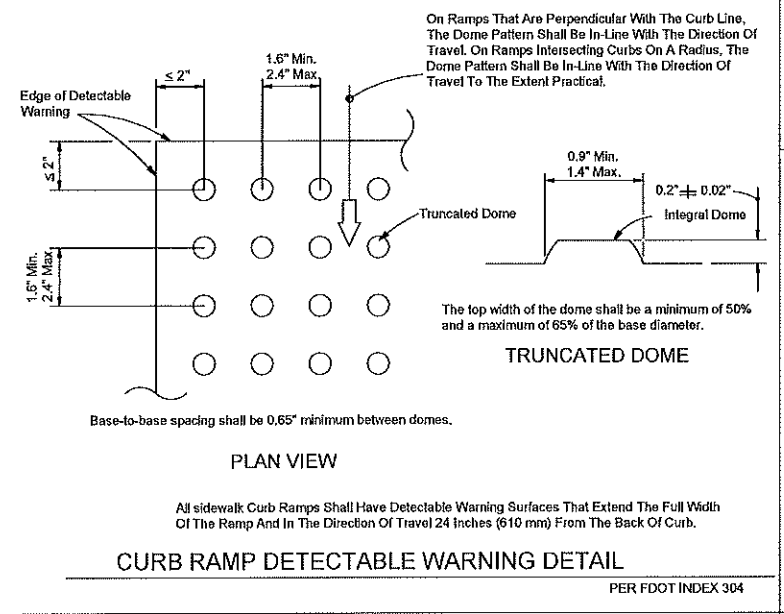


DUMPSTER ENCLOSURE DETAIL
N.T.S.

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 601



CURB RAMP DETECTABLE WARNING DETAIL

PER FDOT INDEX 304

On Ramps That Are Perpendicular With The Curb Line, The Dome Pattern Shall Be In-Line With The Direction Of Travel. On Ramps Intersecting Curb On A Radius, The Dome Pattern Shall Be In-Line With The Direction Of Travel To The Extent Practical.

The top width of the dome shall be a minimum of 50% and a maximum of 65% of the base diameter.

PLAN VIEW

All sidewalk Curb Ramps Shall Have Detectable Warning Surfaces That Extend The Full Width Of The Ramp And In The Direction Of Travel 24 Inches (610 mm) From The Back Of Curb.

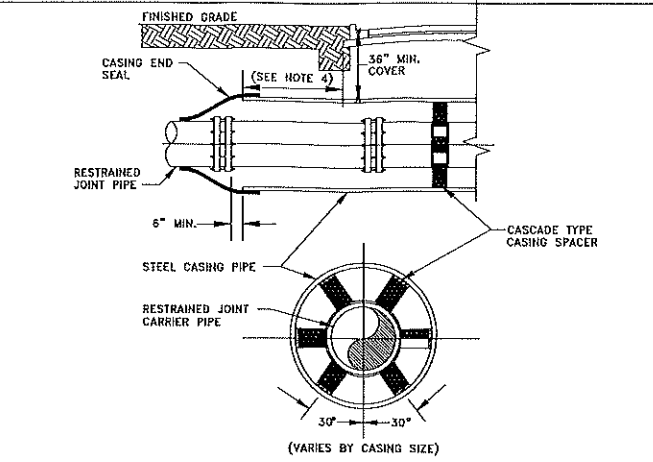
MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). *

	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND	33	43	51	60							
45° BEND	14	18	22	25							
22-1/2° BEND	7	9	11	12							
11-1/4° BEND	4	5	6	6							
TEE**	1	7	24	44							
REDUCER (ONE SIZE SMALLER)		41	39	40							
DEAD END	74	96	115	136							

- * ONLY RESTRAIN BRANCH PIPE FOR TEES, ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'
- NOTES:
- FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.
 - INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
 - WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
 - IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
 - LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: PVC
WORKING PRESSURE: 150 P.S.I.**
SOIL DESIGNATION: SH(SAND SILT)
LAYING CONDITIONS: 3
** FM = 100 P.S.I. / WM OR RYM = 150 P.S.I.
 - FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
 - VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 105



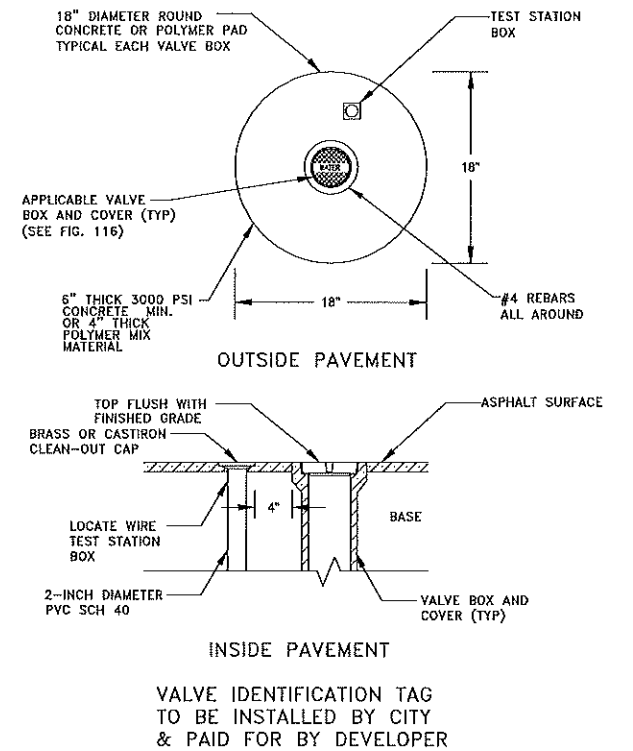
(VARIES BY CASING SIZE)

CARRIER PIPE NOMINAL DIAMETER	4	6	8	10	12	16	20	24	30	36	42
MINIMUM CASING OUTSIDE DIAMETER (INCHES)	16	16	18	20	24	30	36	42	48	54	60
MINIMUM CASING WALL THICKNESS (INCHES)	.250"	.250"	.250"	.250"	.250"	.312"	.375"	.500"	.500"	.500"	.500"

- NOTES:
- WHEN CONSTRUCTION IS WITHIN FDOT OR RAILROAD JURISDICTION, ADDITIONAL REQUIREMENTS SHALL BE MET.
 - DISTANCE BETWEEN SPACERS TO BE PER MANUFACTURER'S SPECIFICATIONS.
 - NO FLOWABLE FILL BETWEEN THE ANNULAR SPACE OF THE CASING OR CARRIER PIPE.
 - WHERE PRACTICAL, CASING SHALL EXTEND 10 FEET BEYOND EDGE OF PAVEMENT AND SHALL NOT BE LESS THAN 6 FEET BEYOND EDGE OF PAVEMENT IN ANY CASE. THE CITY MAY REQUIRE LONGER CASING FOR DEEPER BORES.

BORING AND JACKING DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 108



VALVE BOX

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 109

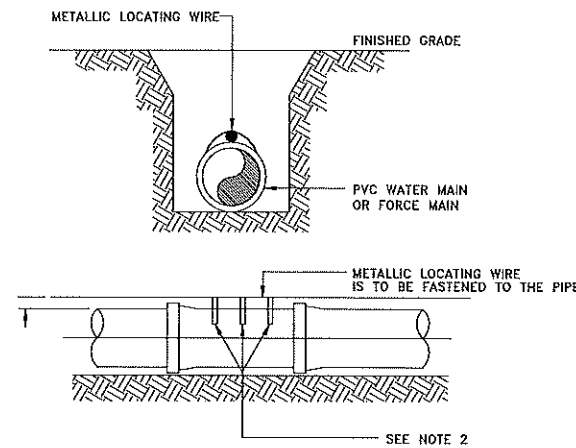
MINIMUM PRESSURE RATING

PSI	DI FITTINGS		PIPE MATERIAL*			GATE VALVE**		FORCEMAIN*	
	≤24"	>24"	PVC	DI	HDPE	≤12"	>12"	PVC	HDPE
100								•	•
150			•		•		•		
200						•			
250	•	•	•						
350	•								

* PVC SHALL HAVE A MAXIMUM DIMENSION RATIO (DR) OF 18 AND HDPE SHALL BE MAX DR11. FORCEMAIN: PVC SHALL BE MAX DR18 UNLESS DESIGN REQUIRES OTHERWISE AND HDPE SHALL BE MAX DR17.
** BUTTERFLY VALVES SHALL BE CLASS 150B

PIPE AND APPURTENANCES PRESSURE RATING

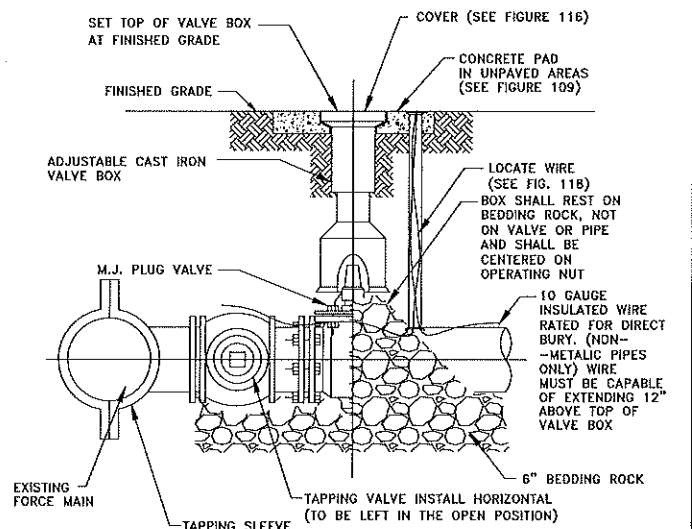
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 110



- NOTES:
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 AWG-SOLID CCS REINFORCED TRACER WIRE-INSULATED 30 MIL HDPE - 30 VOLT MFG. BY COPPERHEAD INDUSTRIES, LLC OR EQUAL) CAPABLE OF DETECTION BY A CABLE LOCATOR.
 - SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE AND ATTACHED WITH DUCT TAPE OR NYLON STRAPS AT 3 LOCATIONS PER JOINT. LOCATING WIRE SHALL TERMINATE AT THE TEST STATION BOX AS SHOWN IN FIG. 109.
 - BE CAPABLE OF EXTENDING 12" ABOVE TOP OF TEST STATION BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
 - SPICES SHOULD BE MADE USING STANDARDS AND PRODUCTS DESIGNED FOR DIRECT BURIAL CONDUCTORS.
 - WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

PVC PIPE LOCATING WIRE DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 118



FORCE MAIN WET TAP TIE-IN DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 206

Dewberry Engineers Inc. 800 NORTH MAGNOLIA AVE SUITE 1000 ORLANDO, FL 32803 PHONE: 407.843.5120 ENGINEERING BUSINESS -8794

Self Help Credit Union 667 W. Orange Blossom Trail

(Minor) Final Development CITY OF APOPKA, FLORIDA

SEAL Christopher J. Albin FL PE # 77719 Jun 30, 2018

KEY PLAN

SCALE NORTH

No.	DATE	BY	Description

REVISIONS DRAWN BY: GL APPROVED BY: RM CHECKED BY: CJA DATE: 08-14-2017

UTILITY DETAILS

PROJECT NO. 50094806 [CRUN1]

No.	DATE	BY	Description

REVISIONS
 DRAWN BY _____
 APPROVED BY _____
 CHECKED BY _____
 DATE JULY 6, 2017
 TITLE

TREE REMOVAL PLAN

PROJECT NO. 50094806

L1.10

TREE DATA:

- TREE INCHES ON-SITE: 900 INCHES
- SITE CLEARING AREA: 1.24± ACRES (54,014 SF)
- TOTAL TREE INCHES REMOVED: 260 INCHES
- TOTAL INCHES RETAINED: 160 INCHES
- TOTAL TREE INCHES TO BE REPLACED: 583 INCHES
- 3" DBH TREES (4): 12 INCHES
- 2.5" DBH TREES (53): 133 INCHES
- TOTAL INCHES POST DEVELOPMENT: 405 INCHES
- QUANTITY OF SPECIMEN TREES REMOVED: 343 INCHES (10 TREES)
- MAXIMUM TREE STOCK: (DEVELOPABLE AREA) 1.37 ACRES 59,677 SF
- SPECIMEN/HISTORIC TREES: 30 INCHES
- 30" DBH FOR 6,000 SF
- 5" DBH PER 1,000 SF ABOVE 6,000 SF 268.5 INCHES
- OTHER PROTECTED TREES: 21 INCHES
- 21" DBH FOR 6,000 SF
- 3.5" DBH PER 1,000 SF ABOVE 6,000 SF 187.9 INCHES
- TOTAL MAXIMUM REPLACEMENT: 507.4 INCHES
- DBH REPLACEMENT: 144.5 INCHES
- TOTAL BALANCE REQUIRED: 362.9
- MITIGATION RATE PER DBH INCH: 10
- TREE MITIGATION FEE: \$3,629.00

TREE PROTECTION NOTE:

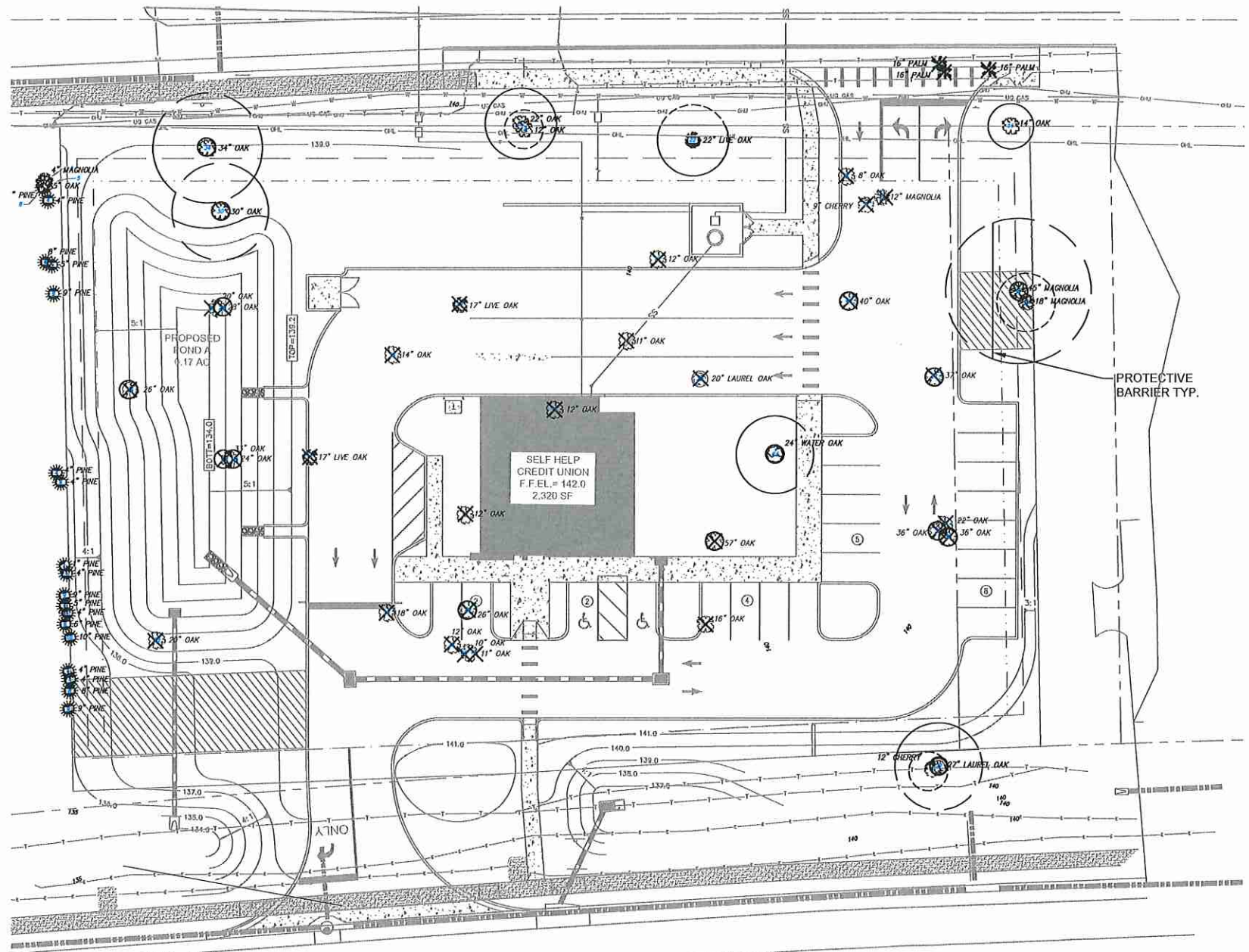
1. A PROTECTIVE BARRIER SHALL BE PLACED AROUND ALL PROTECTED TREES PRIOR TO LAND PREPARATION OR CONSTRUCTION ACTIVITIES, IN ACCORDANCE WITH LDC 5.01.11.

TREE LEGEND

	CYPRESS	CYPRESS
	LAUREL OAK	QUERCUS LAURIFOLIA
	LIVE OAK	QUERCUS VIRGINIANA
	MAGNOLIA	MAGNOLIA GRANDIFLORA
	PINE TREE	PINUS PALUSTRIS
	PALM	SABAL PALMETTO
	LIVE OAK	Q.V. HYBRID
	CHERRY	PRUNUS SPP.
	WATER OAK	QUERCUS NIGRA

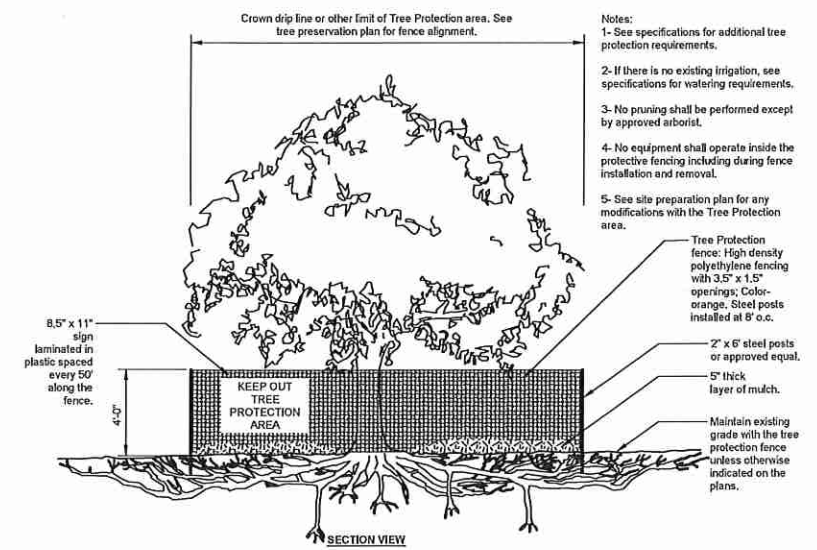
- X TREE TO BE REMOVED
- O SPECIMEN TREE
- - - TREE TO BE PRESERVED WITH TREE PROTECTION FENCE

E
D
C
B
A



EXISTING TREE CHART

COMMON	BOTANICAL	DBH	SAVED	REMOVED
LIVE OAK	Q.V. HYBRID	34	X	
LIVE OAK	Q.V. HYBRID	30	X	
LIVE OAK	Q.V. HYBRID	20		X
LIVE OAK	Q.V. HYBRID	28		X
LIVE OAK	Q.V. HYBRID	26		X
LIVE OAK	Q.V. HYBRID	33		X
LIVE OAK	Q.V. HYBRID	24		X
LIVE OAK	Q.V. HYBRID	20		X
LIVE OAK	Q.V. HYBRID	22	X	
LIVE OAK	Q.V. HYBRID	12	X	
LIVE OAK	QUERCUS VIRGINIANA	22	X	
LIVE OAK	QUERCUS VIRGINIANA	17		X
LIVE OAK	QUERCUS VIRGINIANA	17		X
LIVE OAK	Q.V. HYBRID	14		X
LIVE OAK	Q.V. HYBRID	18		X
LIVE OAK	Q.V. HYBRID	26		X
LIVE OAK	Q.V. HYBRID	12		X
LIVE OAK	Q.V. HYBRID	10		X
LIVE OAK	Q.V. HYBRID	11		X
LIVE OAK	Q.V. HYBRID	16		X
LIVE OAK	Q.V. HYBRID	57		X
WATER OAK	QUERCUS NIGRA	24	X	
LIVE OAK	Q.V. HYBRID	20		X
LIVE OAK	Q.V. HYBRID	11		X
LIVE OAK	Q.V. HYBRID	12		X
PALM	SABAL PALMETTO	16		X
PALM	SABAL PALMETTO	16		X
PALM	SABAL PALMETTO	16		X
LIVE OAK	Q.V. HYBRID	8		X
MAGNOLIA	MAGNOLIA GRANDIFLORA	12		X
CHERRY	PRUNUS SPP.	9		X
LIVE OAK	Q.V. HYBRID	14	X	
MAGNOLIA	MAGNOLIA GRANDIFLORA	45	X	
MAGNOLIA	MAGNOLIA GRANDIFLORA	18	X	
LIVE OAK	Q.V. HYBRID	40		X
LIVE OAK	Q.V. HYBRID	37		X
LIVE OAK	Q.V. HYBRID	22		X
LIVE OAK	Q.V. HYBRID	36		X
LIVE OAK	Q.V. HYBRID	36		X
LIVE OAK	Q.V. HYBRID	27	X	
CHERRY	PRUNUS SPP.	12	X	
		900		



1 TREE PROTECTION
 1/4" = 1'-0"

TREE REMOVAL PLAN
 SCALE: 1" = 20'-0"

No.	DATE	BY	Description

REVISIONS
 DRAWN BY _____
 APPROVED BY _____
 CHECKED BY _____
 DATE JULY 6, 2017

LANDSCAPE PLAN

PROJECT NO. 50094806

L2.10

SHEET NO. OF 79

BUFFER SCHEDULE		
NORTHEAST - 10' REQUIRED - 10' PROVIDED		
300 LF	CANOPY: 1/35 LF MIN.	SHRUB: 10/35 LF MIN.
REQUIRED	9	86
PROVIDED	9	0
SOUTHEAST - 5' REQUIRED - 5' PROVIDED		
192 LF	CANOPY: 1/35 LF MIN.	GROUND COVER/HEDGE
REQUIRED	5	CONTINUOUS
PROVIDED	6	CONTINUOUS
SOUTHWEST -- 10' REQUIRED - 10' PROVIDED		
300 LF	CANOPY: 1/35 LF MIN.	SHRUB: 10/35 LF MIN.
REQUIRED	9	86
PROVIDED	9	75
NORTHWEST - 5' REQUIRED - 5' PROVIDED		
206 LF	CANOPY: 1/35 LF MIN.	
REQUIRED	6	
PROVIDED	5	

IRRIGATED TURF AREA:

BAHIA	20,903 SF (0.4799 ACRES)
ST. AUGUSTINE	2,772 SF

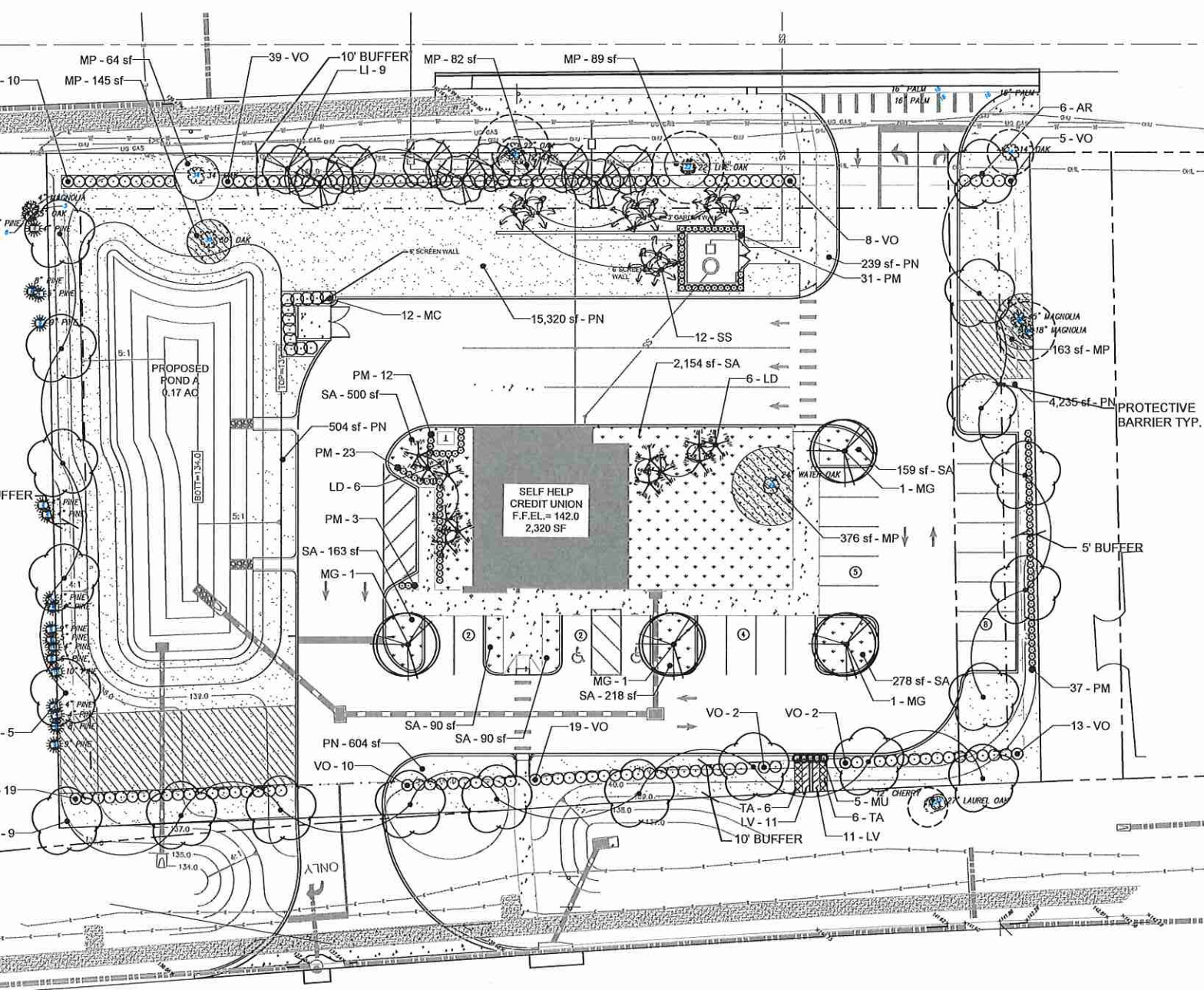
INTERIOR VUA LANDSCAPE AREA CALCULATIONS:

TOTAL VEHICULAR USE AREA:	22,024
INTERIOR LANDSCAPE AREA	
REQUIRED (10%):	2,202 SF
PROVIDED:	2,230 SF
TREES	
REQUIRED:	4 (21 SPACES - 1/6 SPACES)
PROVIDED:	6 (5 PROVIDED, 1 EXISTING)

- LANDSCAPE NOTES:**
- LANDSCAPE AND IRRIGATION PLANS SHALL BE IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.
 - ALL SERVICE EQUIPMENT AND UTILITY BOXES MUST BE FULLY SCREENED.
 - ALL AREAS THAT ARE NOT PAVED OR MULCHED SHALL BE SODDED TO THE LIMITS OF SOD AND PROPERTY LINE WITH BAHIA SOD.
 - SOD ALL PONDS WITH BAHIA SOD TO TWO(2) FEET BELOW NORMAL WATER ELEVATION, REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
 - SOD ALL DISTURBED AREAS WITHIN MERCANTILE LANE RIGHT OF WAY.
 - ALL TREES AND SHRUBS SHALL BE PLACED WITH A MINIMUM OF 5' HORIZONTAL SEPARATION FROM TOHD MAINTAINED UTILITIES.
 - ALL PROPOSED TREES SHALL BE MEASURED, FOR DBH, AT 54" ABOVE SOIL.

- IRRIGATION NOTES:**
- ALL PLANT WATER USE ZONES SHALL BE IRRIGATED SEPARATELY.
 - TURF AREAS SHALL BE IRRIGATED WITH SPRAY HEADS AND SHALL BE IRRIGATED SEPARATELY FROM SHRUBS.
 - TREES SHALL BE IRRIGATED SEPARATELY WITH BUBBLERS.
 - ALL TURF, SHRUBS AND GROUND COVER AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM AND BE DESIGNED WITH 100% COVERAGE.
 - EXISTING TREES TO REMAIN SHALL NOT BE IRRIGATED AND SHALL NOT HAVE ANY PIPING OR HEADS WITHIN THE ROOT PROTECTION ZONES.
 - IRRIGATE ALL LANDSCAPED AREAS UP TO PROPERTY LINES, ROWS.
 - FULL IRRIGATION DESIGN PLAN TO BE SUBMITTED WITH FINAL SITE PLAN SUBMITTAL.

INTERIOR VUA LANDSCAPE AREA DIAGRAM
 N.T.S.



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	REMARKS		
AR	20	Acer rubrum / Red Maple	-	2-1/2" DBH				
LI	9	Lagerstroemia indica / Crape Myrtle	15 gal	2-1/2" DBH				
LD	12	Livistona decipiens / Livistona Palm	15 gal	10" - 14" CT				
MG	4	Magnolia grandiflora / Southern Magnolia	15 gal	3" DBH				
SS	12	Sabal palmetto / Cabbage Palmetto	15 gal	10" - 14" CT				
SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	SIZE	REMARKS		
MU	5	Muhlenbergia capillaris / Pink Muhly	1 gal					
MC	12	Myrica cerifera / Wax Myrtle	5 gal	36" HT & 24" SPR				
PM	106	Podocarpus macrophyllus / Yew Pine	5 gal	36" HT & 24" SPR				
VO	127	Viburnum odoratissimum / Sweet Viburnum	5 gal	36" HT & 24" SPR				
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2	FIELD3	SPACING	REMARKS
LV	22	Liriope muscari 'Variegata' / Variegated Lily Turf	1 gal	FULL			18" o.c.	
MP	1,800 sf	Mulch - / Shredded Hardwood Mulch	flat					3" Depth
PN	20,903 sf	Paspalum notatum / Bahlia Grass	sod					
SA	2,772 sf	Stenotaphrum secundatum 'Floritam' / Floritam St. Augustine Sod	sod					
TA	12	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine	flat					24" o.c.

LANDSCAPE PLAN
 SCALE: 1" = 20'-0"

SELF HELP
 CREDIT UNION
 FINAL SITE PLAN
 APOPKA, FLORIDA

SEAL

KEY PLAN

SCALE

No.	DATE	BY	Description

REVISIONS

DRAWN BY _____

APPROVED BY _____

CHECKED BY _____

DATE JULY 6, 2017

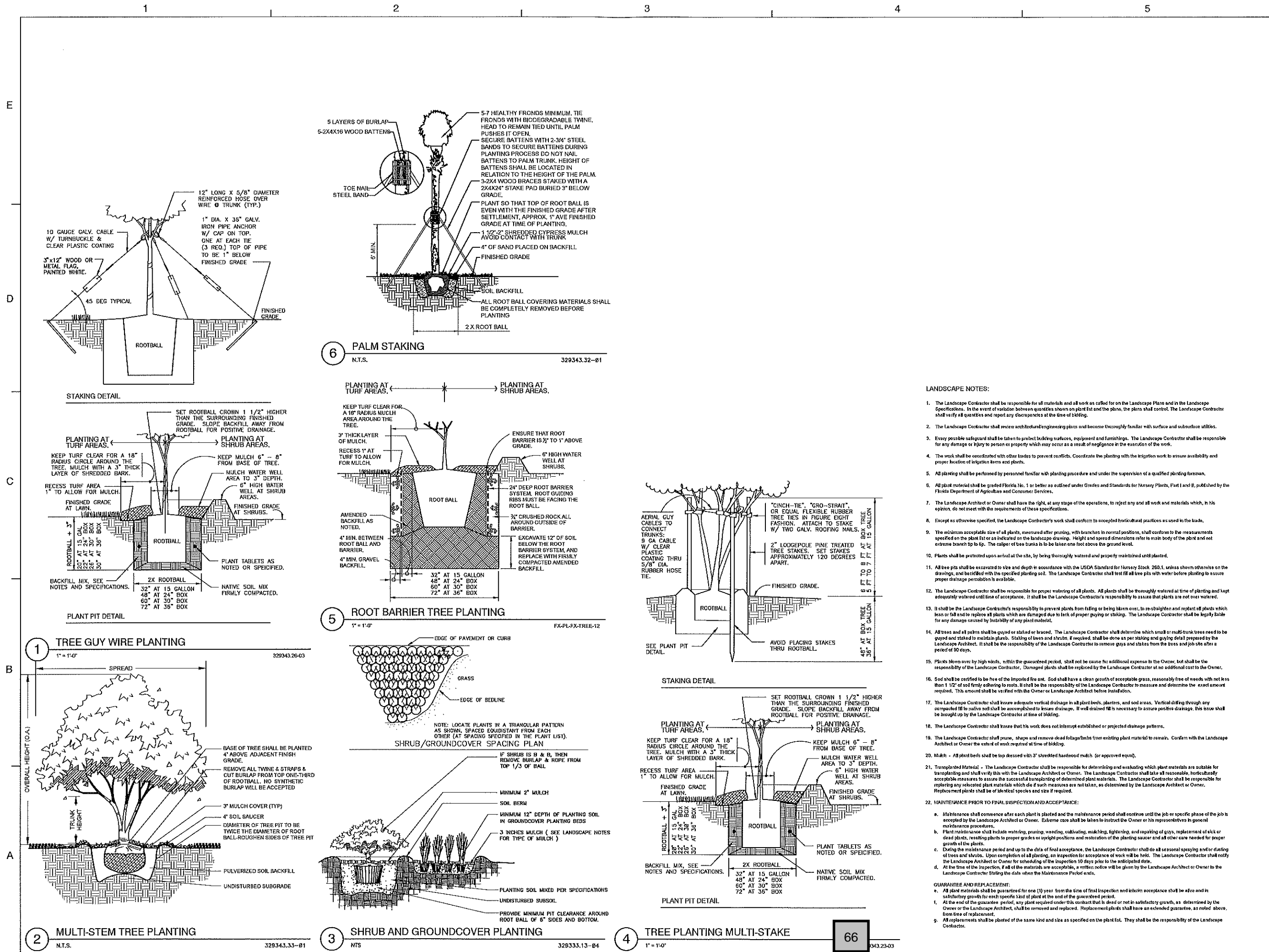
TITLE

**LANDSCAPE
 DETAILS**

PROJECT NO. 50094806

L3.00

SHEET NO. OF 79



SELF HELP
 CREDIT UNION
 FINAL SITE PLAN
 APOPKA, FLORIDA

SEAL

KEY PLAN

SCALE

No.	DATE	BY	Description

No.	DATE	BY	Description

DRAWN BY _____

APPROVED BY _____

CHECKED BY _____

DATE JULY 6, 2017

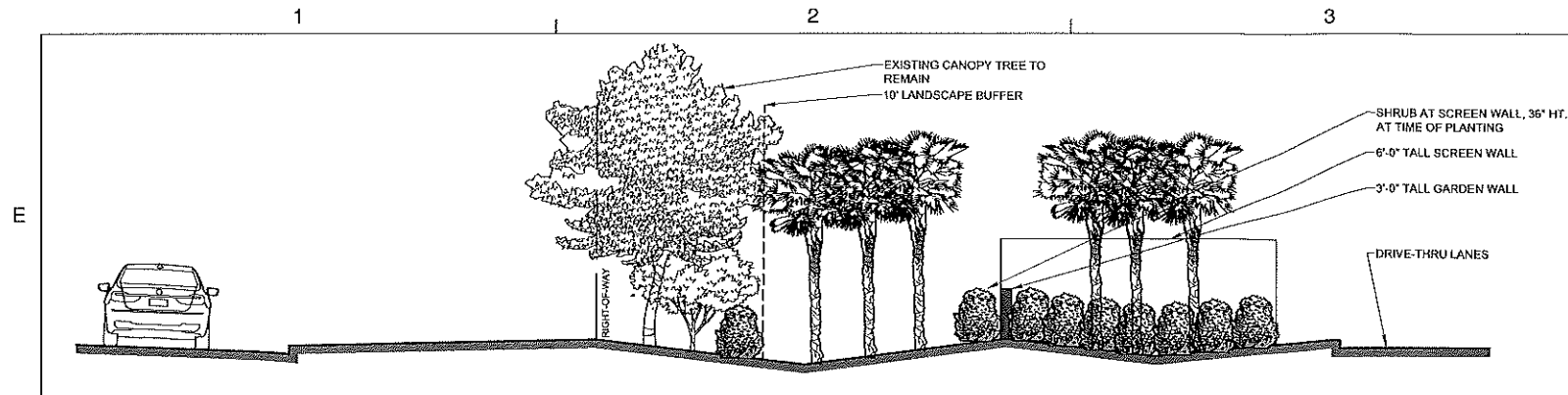
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DETAILS

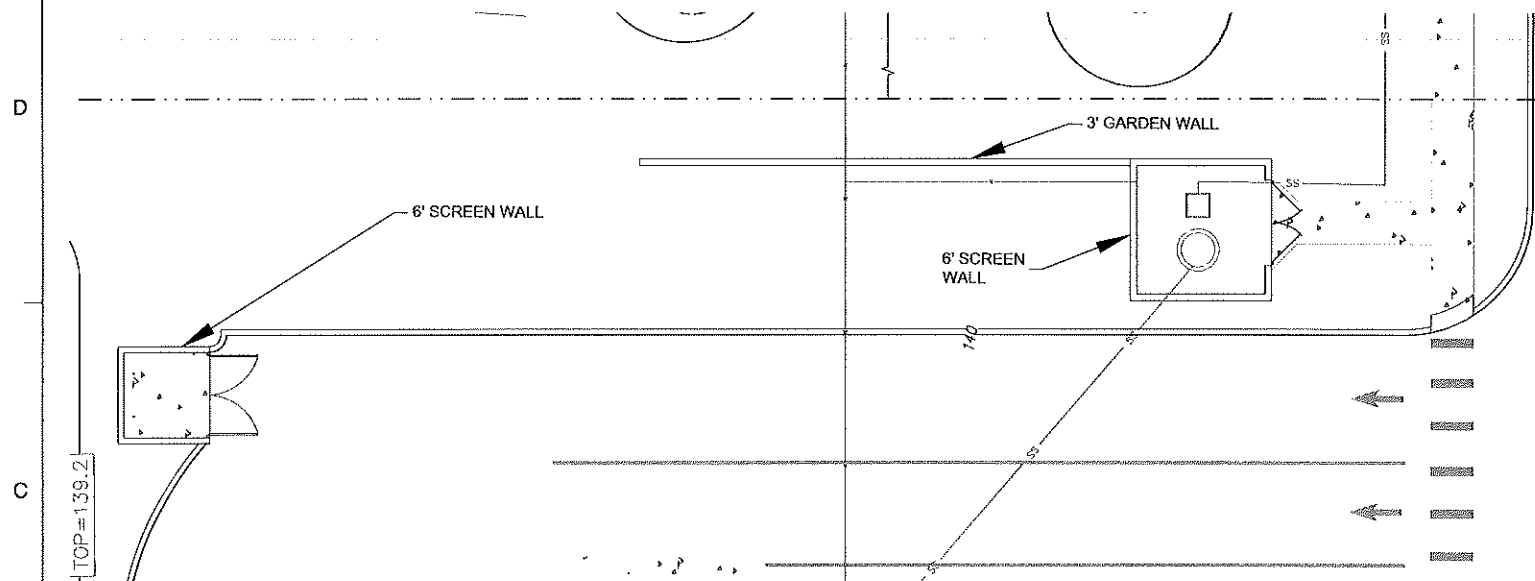
PROJECT NO. 50094806

L3.11

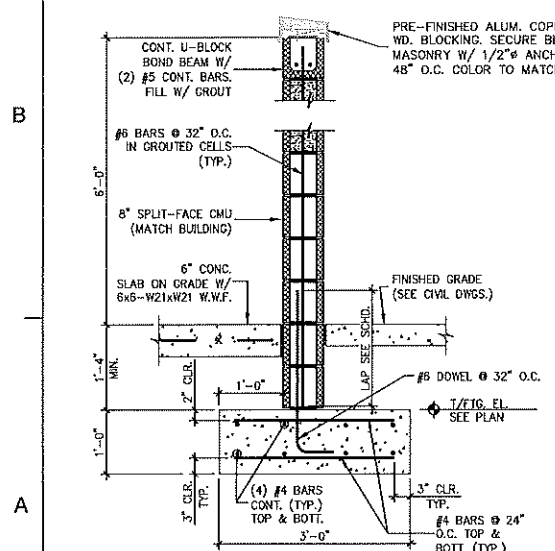
SHEET NO. of 79



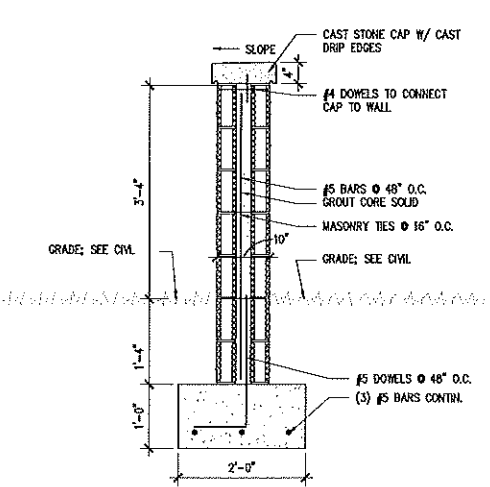
D1
 L3.11
 SECTION AT GARDEN WALL
 SCALE: 1" = 5'-0"



C1
 L3.11
 WALL LAYOUT PLAN
 SCALE: 1" = 10'-0"



1
 L3.11
 MASONRY SCREEN WALL W/ FTG.
 3/4" = 1'-0"

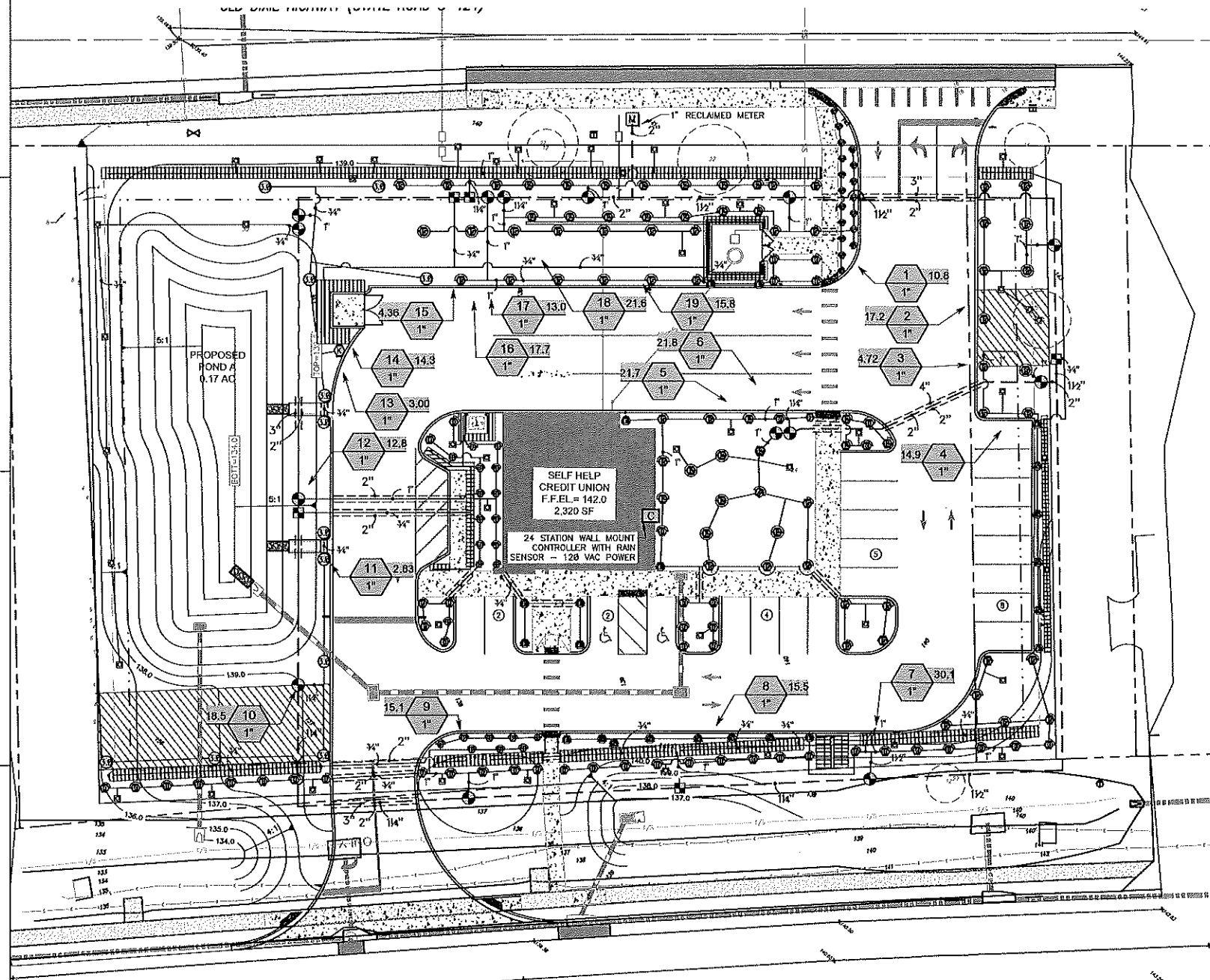


2
 L3.11
 MASONRY GARDEN WALL W/ FTG.
 3/4" = 1'-0"

- Notes:
1. Bubblers shall not be installed on the same zone as rotors.
 2. All distribution equipment must be 24" from vertical structures.
 3. No water allowed on sidewalk or parking lot (make sure to adjust overspray from all heads.)
 4. Irrigation zones shall not exceed the five (5) feet / second flow velocity.
 5. Plants and turf shall not be irrigated on the same zone.



MAINLINE AND LATERAL LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING FDEP GUIDELINES AND TO IRRIGATION SPECIFICATIONS AND DETAILS.



IRRIGATION PLAN
SCALE: 1" = 20'-0"

IRRIGATION SCHEDULE

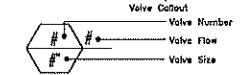
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
EST LCS SST	Rain Bird 1806-PRS-NP 15 Strip Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating. With Non Potable Purple Cap.	22	30	
Q H F	Rain Bird 1806-PRS-NP 5 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating. With Non Potable Purple Cap.	18	30	
Q T H F	Rain Bird 1806-PRS-NP 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating. With Non Potable Purple Cap.	22	30	
Q T H F	Rain Bird 1806-PRS-NP 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating. With Non Potable Purple Cap.	41	30	
Q T H F	Rain Bird 1806-PRS-NP 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating. With Non Potable Purple Cap.	28	30	
Q T H F	Rain Bird 1806-PRS-NP 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating. With Non Potable Purple Cap.	43	30	
18E-WN 12HE-WN 18E-WN 15HE-WN	Rain Bird 1806-PRS-NP ADJ Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating. With Non Potable Purple Cap.	4	30	
Q Q Q	Hunter MP2000 FRO5-06-PRS40-CV-R Turf Rotator, 6" (15.24 cm) pop-up with check valve, reclaimed body cap, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	1	40	
A A A 1481 1482 1481 1480	Rain Bird 1800-1400 Flood Fixed Flow rate (0.25-2.09PM), full circle bubbler, 1/2" FIPT.	48	30	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS	DETAIL
14	Rain Bird 5006-FC, FC-NP Turf Rotor, 6.0" Pop-Up, Plastic Riser. Adjustable and Full Circle. Standard Angle Nozzle. With Non-Potable Purple Cover.	8	45	3.04	40'	
15	Rain Bird 5004-FC, FC (2) Turf Rotor, 4.0" Pop-Up, Plastic Riser. Adjustable and Full Circle. Standard Angle Nozzle.	4	35	2.71	36'	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
16	Rain Bird XC2-100-PRF Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 5gpm - 15gpm.	5	
Area to Receive Dripline	Netafim TLDL-9-12 (12) Technine Pressure Compensating Landscape Dripline. 0.85GPM emitters at 12.0" O.C. Dripline laterals spaced at 12.0' apart, with emitters offset for triangular pattern. Surface and Sub Surface Installations. UV Resistant.	2,318 s.f.	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
17	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability. Globe Configuration.	14	
18	Rain Bird ESPBLXME with (OI) ESPLXMSM12 20 Station Commercial Controller. Mounted on a Plastic Wall Mount. Without flow sensing.	1	
19	Water Meter 1" 1" Meter	1	

---	Irrigation Lateral Line: PVC Class 200 SDR 21-NP	3,824 l.f.
---	Irrigation Mainline: PVC Schedule 40-NP	461.6 l.f.
---	Pipe Sleeve: PVC Schedule 40	351.5 l.f.



Dewberry Engineers Inc.
800 NORTH HAZEN AVENUE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.943.2100
ENGINEERING BUSINESS #774
LAND ARCH. - LC20000559

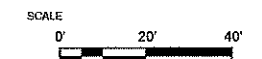
SELF HELP
CREDIT UNION
FINAL SITE PLAN

APOPKA, FLORIDA

SEAL

Michael J. Urdaniz
Professional Engineer
No. 12018
Exp. 01/31/2018

KEY PLAN



REVISIONS				
No.	DATE	BY	JAS	CITY COMMENTS

DRAWN BY _____
APPROVED BY _____
CHECKED BY _____
DATE JULY 6, 2017

TITLE
IRRIGATION PLAN

PROJECT NO. 50094806

IR2.10

SHEET NO. OF 79

SEAL

KEY PLAN

SCALE

No.	DATE	BY	Description
1	1/24/16	JAS	CITY COMMENTS

REVISIONS

DRAWN BY

APPROVED BY

CHECKED BY

DATE JULY 6, 2017

TITLE

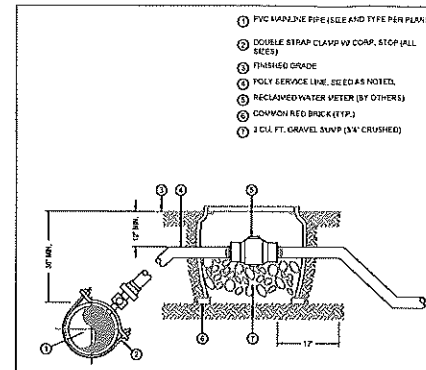
IRRIGATION
DETAILS

PROJECT NO. 50094806

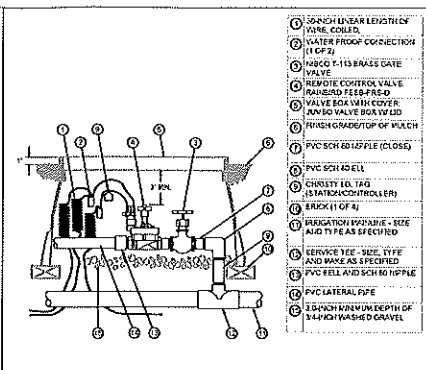
IR3.00

SHEET NO. OF 79

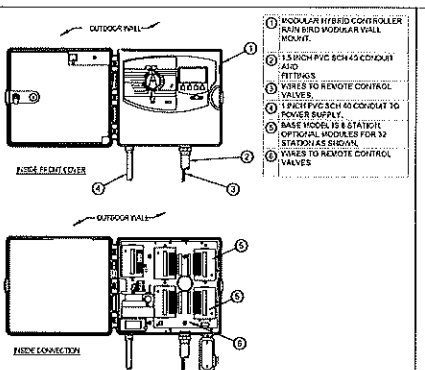
VALVE SCHEDULE				
NUMBER	MODEL	SIZE	TYPE	GPM
1	Rain Bird PEB	1"	Turf Spray	10.19
2	Rain Bird PEB	1"	Turf Spray	11.22
3	Rain Bird XGZ-100-PRF	1"	Area for Dripline	4.12
4	Rain Bird PEB	1"	Turf Spray	14.88
5	Rain Bird PEB	1"	Turf Spray	21.69
6	Rain Bird PEB	1"	Turf Spray	21.83
7	Rain Bird PEB	1"	Turf Spray	30.03
8	Rain Bird XGZ-100-PRF	1"	Area for Dripline	14.06
9	Rain Bird PEB	1"	Turf Spray	15.07
10	Rain Bird PEB	1"	Turf Rotor	18.54
11	Rain Bird XGZ-100-PRF	1"	Area for Dripline	2.83
12	Rain Bird PEB	1"	Turf Spray	12.15
13	Rain Bird PEB	1"	Bubbler	3.00
14	Rain Bird PEB	1"	Turf Rotor	14.31
15	Rain Bird XGZ-100-PRF	1"	Area for Dripline	4.36
16	Rain Bird XGZ-100-PRF	1"	Area for Dripline	17.67
17	Rain Bird PEB	1"	Turf Spray	12.45
18	Rain Bird PEB	1"	Turf Spray	21.55
19	Rain Bird PEB	1"	Turf Spray	15.84



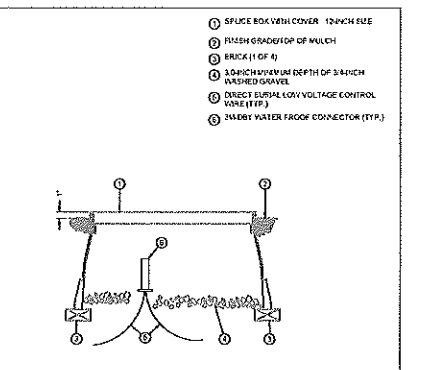
A CORP STOP METER CONNECTION



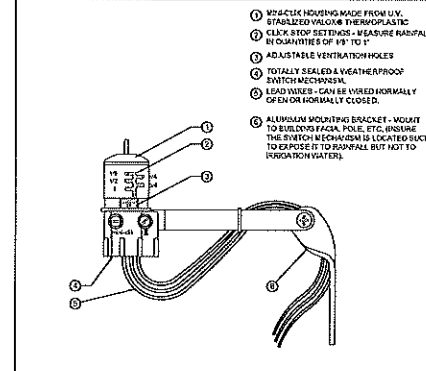
B RAIN BIRD RCV W/GATE VALVE



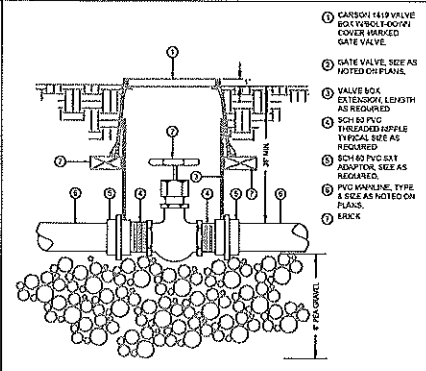
C CONTROLLER WALL MOUNT



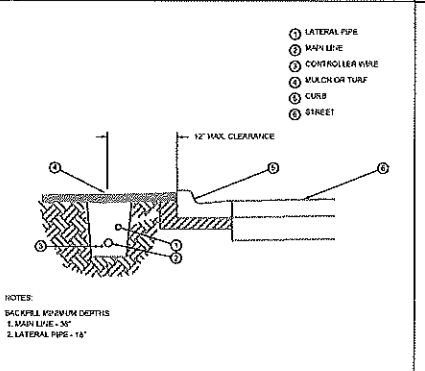
C WIRE SPLICE



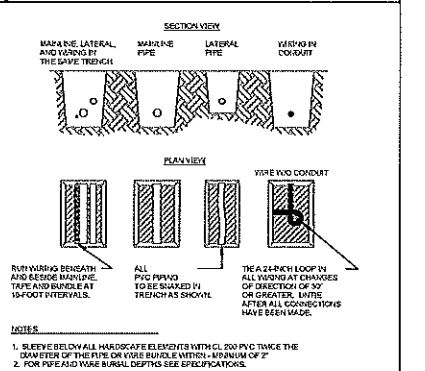
C MINI-CLICK II RAIN SENSOR



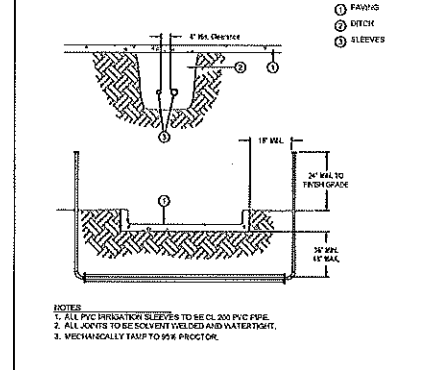
D T-113 GATE VALVE



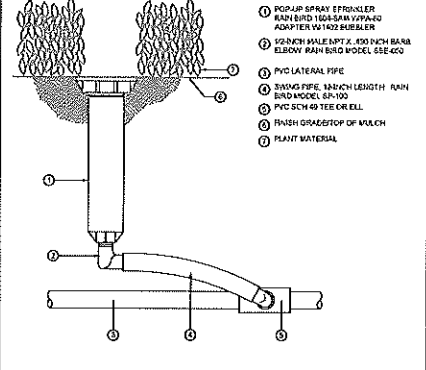
L MAINLINE AND LATERAL PIPING DETAIL



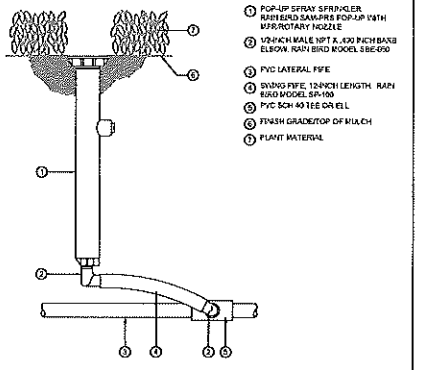
L PIPE AND WIRE TRENCHING



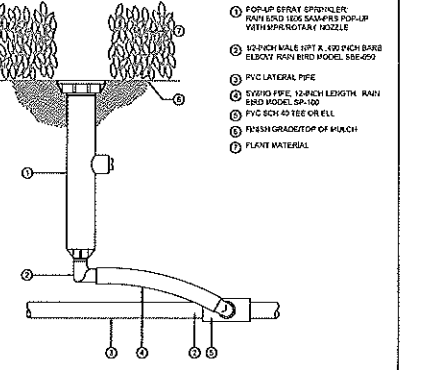
O SLEEVING



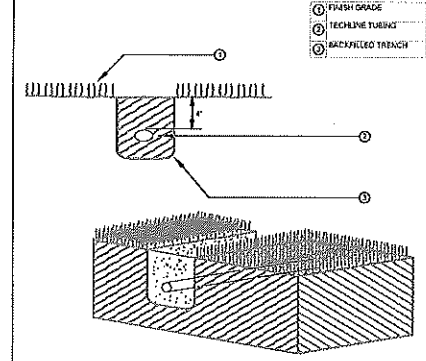
R RAIN BIRD 1804-SAM POP-UP WITH 1402 BUBBLER



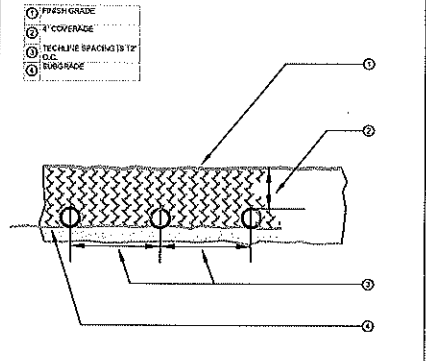
S RAIN BIRD 1812 SAM-PRS



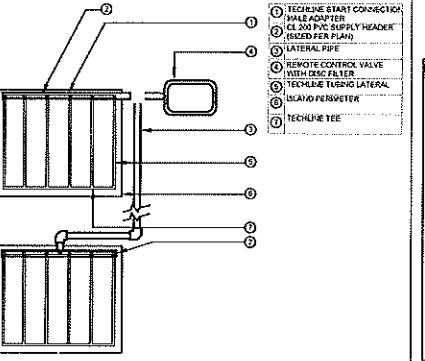
T RAINBIRD 1806 SAM-PRS



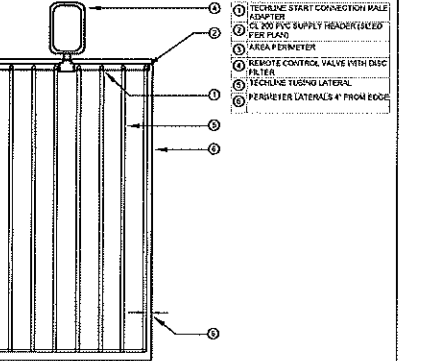
M TECHLINE TRENCHING DETAIL



M TECHLINE SUB GRADE LAYOUT



N TECHLINE MULTIPLE ISLAND LAYOUT



N TECHLINE SINGLE FEED LAYOUT



No.	DATE	BY	Description

REVISIONS
DRAWN BY _____
APPROVED BY _____
CHECKED BY _____
DATE JULY 6, 2017
TITLE

TREE REMOVAL PLAN

PROJECT NO. 50094806

L1.10

TREE DATA:

- TREE INCHES ON-SITE: 900 INCHES
- SITE CLEARING AREA: 1.24± ACRES (54,014 SF)
- TOTAL TREE INCHES REMOVED: 640 INCHES
- TOTAL INCHES RETAINED: 260 INCHES
- TOTAL SPECIMEN INCHES RETAINED: 160 INCHES
- TOTAL TREE INCHES TO BE REPLACED: 583 INCHES
- 3" DBH TREES (4): 12 INCHES
- 2.5" DBH TREES (53): 133 INCHES
- TOTAL INCHES POST DEVELOPMENT: 405 INCHES
- QUANTITY OF SPECIMEN TREES REMOVED: 343 INCHES (10 TREES)
- 1.37 ACRES 59,677 SF
- SPECIMEN/HISTORIC TREES: 30 INCHES
- 30" DBH FOR 6,000 SF 268.5 INCHES
- 5" DBH PER 1,000 SF ABOVE 6,000 SF 21 INCHES
- OTHER PROTECTED TREES: 21 INCHES
- 21" DBH FOR 6,000 SF 187.9 INCHES
- 3.5" DBH PER 1,000 SF ABOVE 6,000 SF 507.4 INCHES
- TOTAL MAXIMUM REPLACEMENT: 144.5 INCHES
- DBH REPLACEMENT: 362.9
- TOTAL BALANCE REQUIRED: 10
- MITIGATION RATE PER DBH INCH: \$3,629.00
- TREE MITIGATION FEE: \$3,629.00

TREE PROTECTION NOTE:

1. A PROTECTIVE BARRIER SHALL BE PLACED AROUND ALL PROTECTED TREES PRIOR TO LAND PREPARATION OR CONSTRUCTION ACTIVITIES, IN ACCORDANCE WITH LDC 5.01.11.

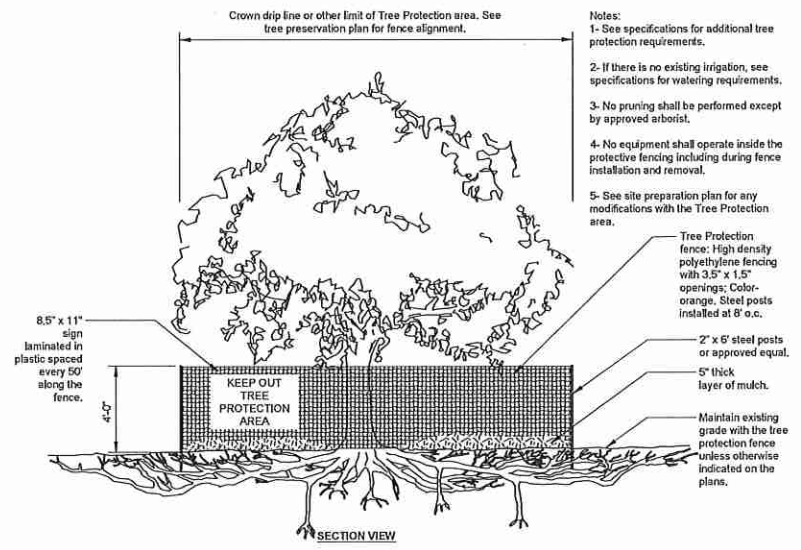
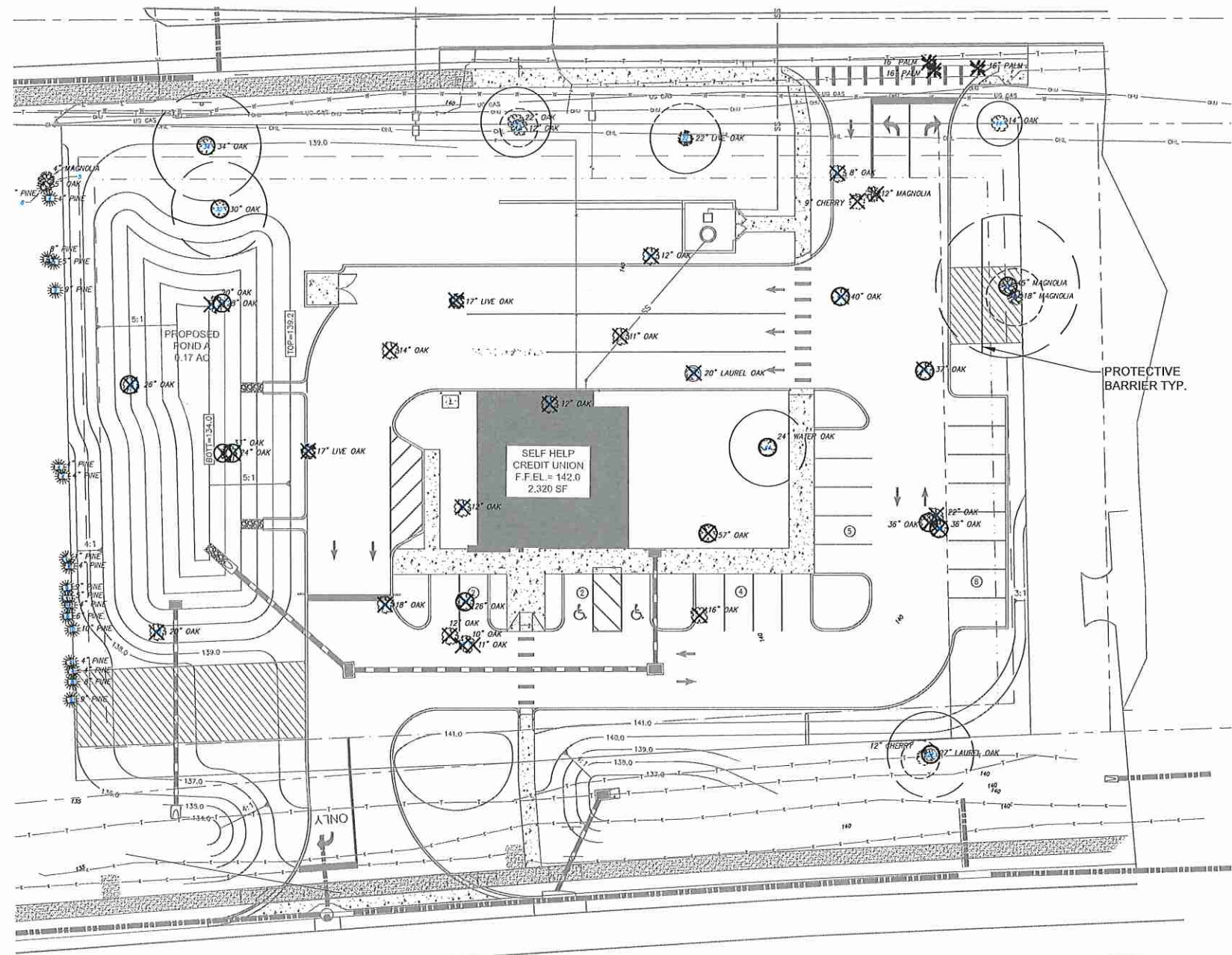
EXISTING TREE CHART

COMMON	BOTANICAL	DBH	SAVED	REMOVED
LIVE OAK	Q.V. HYBRID	34	X	
LIVE OAK	Q.V. HYBRID	30	X	
LIVE OAK	Q.V. HYBRID	20		X
LIVE OAK	Q.V. HYBRID	28		X
LIVE OAK	Q.V. HYBRID	26		X
LIVE OAK	Q.V. HYBRID	33		X
LIVE OAK	Q.V. HYBRID	24		X
LIVE OAK	Q.V. HYBRID	20		X
LIVE OAK	Q.V. HYBRID	22	X	
LIVE OAK	Q.V. HYBRID	12	X	
LIVE OAK	QUERCUS VIRGINIANA	22	X	
LIVE OAK	QUERCUS VIRGINIANA	17		X
LIVE OAK	QUERCUS VIRGINIANA	17		X
LIVE OAK	Q.V. HYBRID	14		X
LIVE OAK	Q.V. HYBRID	18		X
LIVE OAK	Q.V. HYBRID	26		X
LIVE OAK	Q.V. HYBRID	12		X
LIVE OAK	Q.V. HYBRID	10		X
LIVE OAK	Q.V. HYBRID	11		X
LIVE OAK	Q.V. HYBRID	16		X
LIVE OAK	Q.V. HYBRID	57		X
WATER OAK	QUERCUS NIGRA	24	X	
LIVE OAK	Q.V. HYBRID	20		X
LIVE OAK	Q.V. HYBRID	11		X
LIVE OAK	Q.V. HYBRID	12		X
PALM	SABAL PALMETTO	16		X
PALM	SABAL PALMETTO	16		X
LIVE OAK	Q.V. HYBRID	8		X
MAGNOLIA	MAGNOLIA GRANDIFLORA	12		X
CHERRY	PRUNUS SPP.	9		X
LIVE OAK	Q.V. HYBRID	14	X	
MAGNOLIA	MAGNOLIA GRANDIFLORA	45	X	
MAGNOLIA	MAGNOLIA GRANDIFLORA	18	X	
LIVE OAK	Q.V. HYBRID	40		X
LIVE OAK	Q.V. HYBRID	37		X
LIVE OAK	Q.V. HYBRID	22		X
LIVE OAK	Q.V. HYBRID	36		X
LIVE OAK	Q.V. HYBRID	36		X
LIVE OAK	Q.V. HYBRID	27	X	
CHERRY	PRUNUS SPP.	12	X	
		900		

TREE LEGEND

	CYPRESS	CYPRESS
	LAUREL OAK	QUERCUS LAURIFOLIA
	LIVE OAK	QUERCUS VIRGINIANA
	MAGNOLIA	MAGNOLIA GRANDIFLORA
	PINE TREE	PINUS PALUSTRIS
	PALM	SABAL PALMETTO
	LIVE OAK	Q.V. HYBRID
	CHERRY	PRUNUS SPP.
	WATER OAK	QUERCUS NIGRA

- X TREE TO BE REMOVED
- O SPECIMEN TREE
- (---) TREE TO BE PRESERVED WITH TREE PROTECTION FENCE



1 TREE PROTECTION
1/4" = 1'-0"

URBAN TREE FOUNDATION © 2014
GREEN SOURCE FREE TO USE
FX-PL-FX-TRMT-02

TREE REMOVAL PLAN
SCALE: 1" = 20'-0"

SELF HELP
 CREDIT UNION
 FINAL SITE PLAN
 APOPKA, FLORIDA

SEAL

KEY PLAN

SCALE

No.	DATE	BY	Description

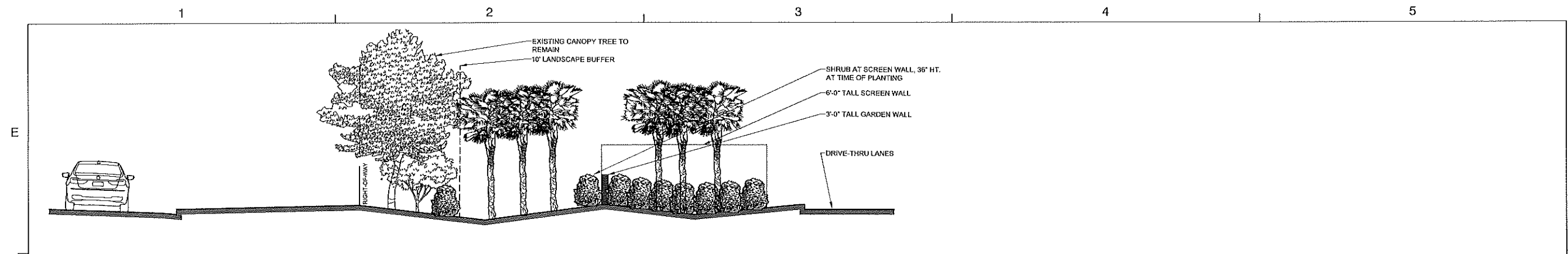
REVISIONS			
No.	DATE	BY	Description

DRAWN BY _____
 APPROVED BY _____
 CHECKED BY _____
 DATE JULY 6, 2017
 TITLE

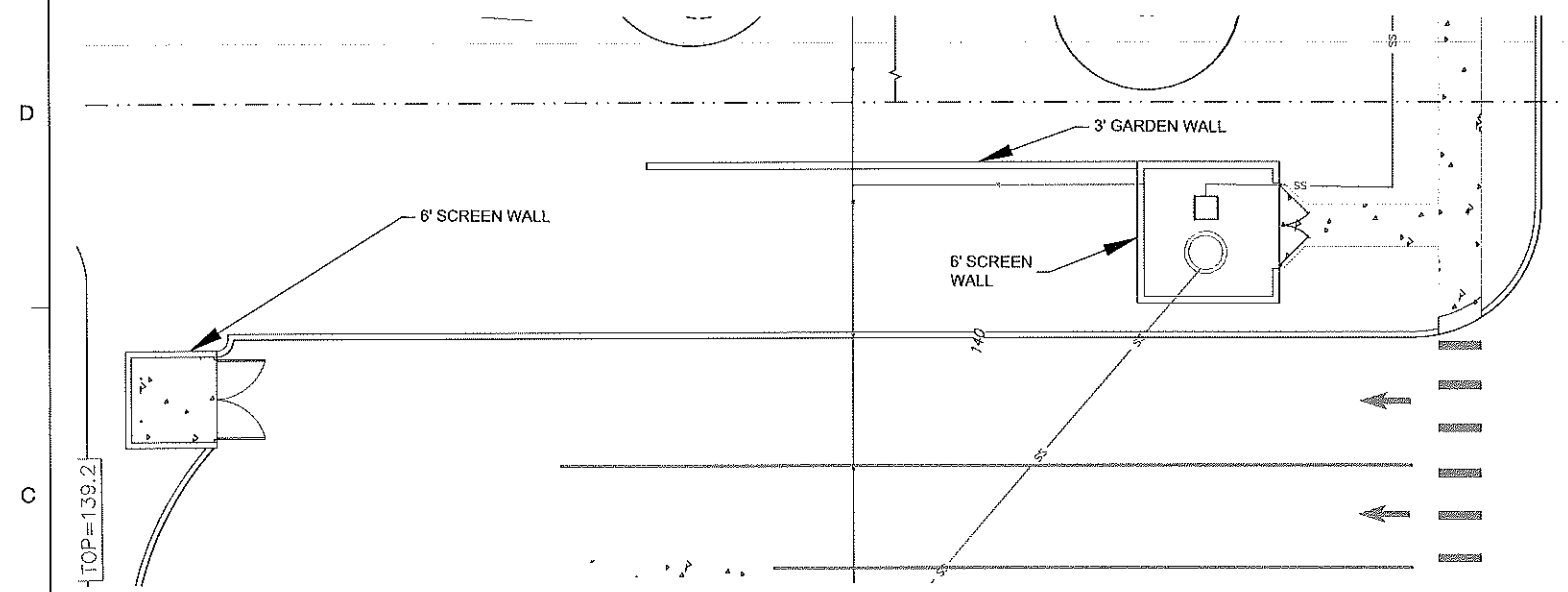
DETAILS

PROJECT NO. 50094806

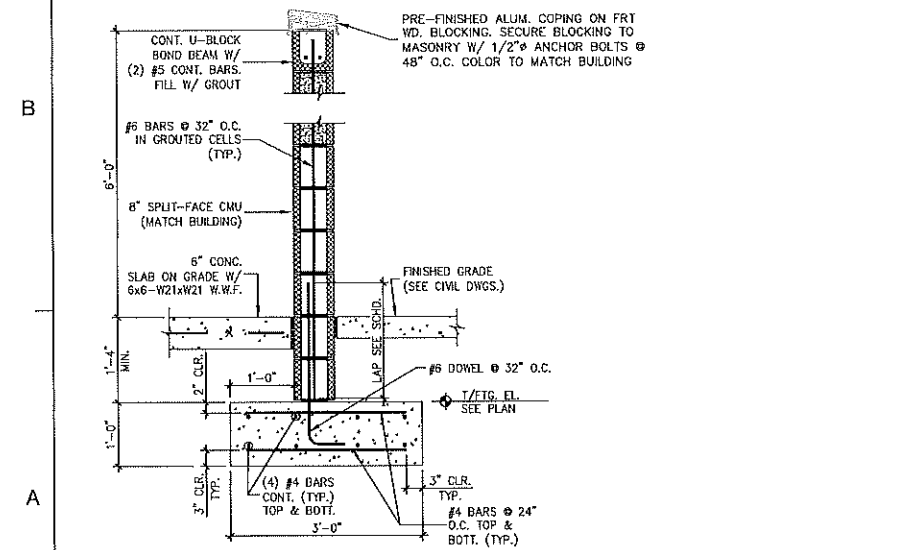
L3.11



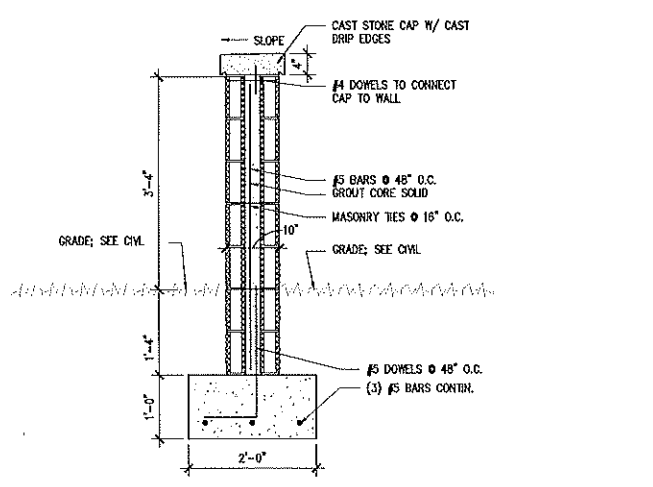
D1 SECTION AT GARDEN WALL
 SCALE: 1" = 5'-0"



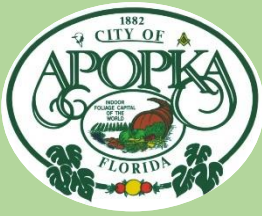
C1 WALL LAYOUT PLAN
 SCALE: 1" = 10'-0"



1 MASONRY SCREEN WALL W/ FTG.
 SCALE: 3/4" = 1'-0"



2 MASONRY GARDEN WALL W/ FTG.
 SCALE: 3/4" = 1'-0"



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: April 4, 2018
 FROM: Community Development
 EXHIBITS: Vicinity Map
 Aerial Map
 Final Development Plan/Plat
 Landscape Plan

SUBJECT: ZARABROOKE SUBDIVISION FINAL DEVELOPMENT PLAN/PLAT

REQUEST: APPROVAL OF THE ZARABROOKE SUBDIVISION FINAL DEVELOPMENT PLAN/PLAT

SUMMARY:

OWNER: Zarabrooke, LLC c/o Barry Kalmanson
 APPLICANT/ENGINEER: Lochrane Engineering, Inc. c/o Edgardo Garcia-Luna
 LOCATION: 829 Paradiso Court
 PARCEL ID NUMBER: 05-21-28-0000-00-056
 FUTURE LAND USE: Residential Low Density (max. 0-5 du/ac)
 ZONING: R-3 (Residential Multiple Family)
 EXISTING USE: Vacant
 PROPOSED USE: Single Family Residential Subdivision (14) Lots
 Minimum Lot Size: 9808 square feet; Minimum Lot Width: 70 feet
 TRACT SIZE: 5.59 +/- acres
 DENSITY: 2.68 du/ac (proposed)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Estates	R-3	The Courtyards Residential Subdivision
East (City)	Office	PO/I	Vick Road Right-of-Way/Apopka High School
South (City)	Residential Low	PUD	Parkside at Errol Estates Subdivision
West (City)	Residential Low	PUD	Parkside at Errol Estates Subdivision

Project Use: The Zarabrooke Subdivision Final Development Plan proposes the development of 14 single family residential lots. The minimum typical lot width is 70 feet with a minimum lot size of 9,808 square feet. The required minimum living area for the subdivision is 1,350 square feet as set forth in Chapter 2 of the Land Development Code for single-family lots located within the R-3 zoning.. The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front	25’*
Side	7.5’**
Rear	20’
Corner	25’

*Front-entry garage must be setback 30 feet.

**15 feet distance requirement between structures.

Access: Ingress/egress access points for the development will be via full access onto Vick Road.

Stormwater: The retention pond on the western portion of the site has been designed to meet the City’s Land Development Code requirements.

Buffer and Tree Program: A 6-foot tall masonry or concrete or brick-finished wall will be located on the east boundary of the project site with a subdivision entry sign and feature, abutting Vick Road. The plans shows a wrought-iron style fence with a brink posts on a portion of the stormwater pond, Tract A.

Buffers are provided consistent with the Land Development Code. A buffer wall is not located along the western boundary of the Duke Energy property. A screen wall is not required by the Land Development Code when a development abuts single family residential uses, and screen wall is not proposed by within the Final Development Plan. Future homeowners will have the option to install a fence along their rear lot lines.

Tree Program:

The following is a summary of the tree replacement program:

- Total number of specimen trees: 107
- Total number of non-specimen trees: 53
- Total inches retained: 1054
- Total inches replaced: 480
- Total inches post development: 1534

Based on the number of tree inches preserved and additional tree inches replaced, a tree mitigation fee is not required for this project.

All preserved trees shall be protected during lot construction and grading. Appropriate tree barricades shall be installed around each tree or group of trees along the tree drip line.

SCHOOL CAPACITY REPORT: No development activity can occur until such time that a concurrency mitigation agreement has been approved by OCPS.

PUBLIC HEARING SCHEDULE:

March 13, 2018 - Planning Commission, 5:30 p.m.

April 4, 2018 - City Council, 1:30 p.m.

RECOMMENDATION ACTION:

The **Development Review Committee (DRC)** recommends approval of the Zarabrooke Subdivision Final Development Plan/Plat subject to the findings of this staff report.

The **Planning Commission**, at its meeting on March 13, 2018, found the Zarabrooke Subdivision Final Development Plan consistent with the Comprehensive Plan and Land Development Code; and recommend approval (5-1) of the Zarabrooke Subdivision Final Development Plan/Plat subject to the findings of this staff report.

City Council: Approve the Zarabrooke Subdivision Final Development Plan and Plat.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Zarabrooke, LLC c/o Barry Kalmanson
Lochrane Engineering, Inc.,
c/o Edgardo Garcia-Luna
Zarabrooke Subdivision
5.59 +/- Acres
Proposed number of units: 14
Parcel ID #: 05-21-28-0000-00-056

VICINITY MAP



AERIAL MAP



**Parkside at Errol Estates Phase Three Northern Buffer Tract “H”:
Landscape/Wall/Buffer**



SITE DATA:

- TOTAL GROSS ACREAGE: 5.59 ACRES +/-
- EXISTING ZONING: R-3, (5 UNITS/ACRE).
- FUTURE LAND USE: RESIDENTIAL LOW (0-5 DU/AC)
- WATER SERVICE: CITY OF APOPKA PUBLIC SERVICES
WATER DEMAND:
FIRE FLOW: ON-SITE FIRE HYDRANTS MIN. OF 1000 GPM PER HYDRANT
- SANITARY SEWER SERVICE: CITY OF APOPKA PUBLIC SERVICES.
- LAND UTILIZATION:

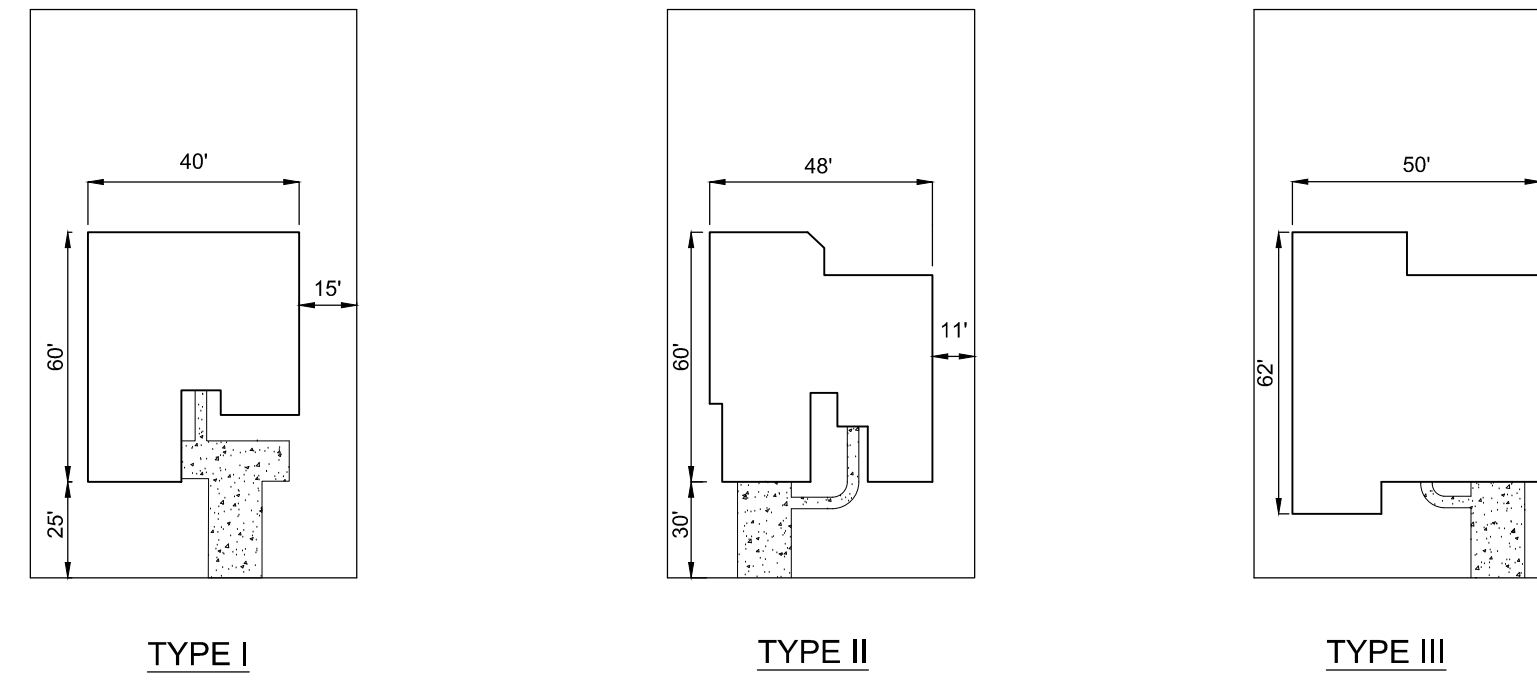
LAND USE	AREA (SF)	AREA (ACRES)	%
SINGLE-FAMILY RESIDENTIAL	148,143.83	3.401	60.9
TRACT 'A' (STORMWATER DETENTION POND)	35,935.90	0.825	14.8
TRACT 'B' (SCREEN WALL)	1,380.00	0.032	0.6
TRACT 'C' (ENTRANCE LANDSCAPE ISLAND)	552.75	0.013	0.2
TRACT 'D' (STORMWATER MAINTENANCE)	1,480.00	0.034	0.6
PUBLIC ROW (ZARABROOKE CT.)	55,851.00	1.282	23.0
TOTAL	243,343.48	5.586	100.0

7. PVIOUS/IMPERVIOUS AREA:

DESCRIPTION	AREA (SF)	AREA (ACRES)	%
PVIOUS (GREEN AREA)	153,523.48	3.524	63.1
IMPERVIOUS (BUILDING)	43,288.00	0.994	17.8
IMPERVIOUS (PAVERS AND SIDEWALK)	17,216.00	0.395	7.1
IMPERVIOUS (ROADWAY)	29,316.00	0.673	12.0
TOTAL	243,343.48	5.586	100.0

INDIVIDUAL LOT INFORMATION

LOT NO.	LOT FRONTAGE (LF)	LOT AREA (SF)
1	69.00	9,808.62
2	71.59	9,835.00
3	70.00	10,360.00
4	70.00	10,360.00
5	70.00	10,360.00
6	70.00	10,360.00
7	70.00	10,360.00
8	70.00	10,360.00
9	70.00	10,360.00
10	70.00	10,360.00
11	70.00	10,360.00
12	90.00	11,260.00
13	92.98	11,000.31
14	54.97	12,999.90
TOTAL	148,143.83	

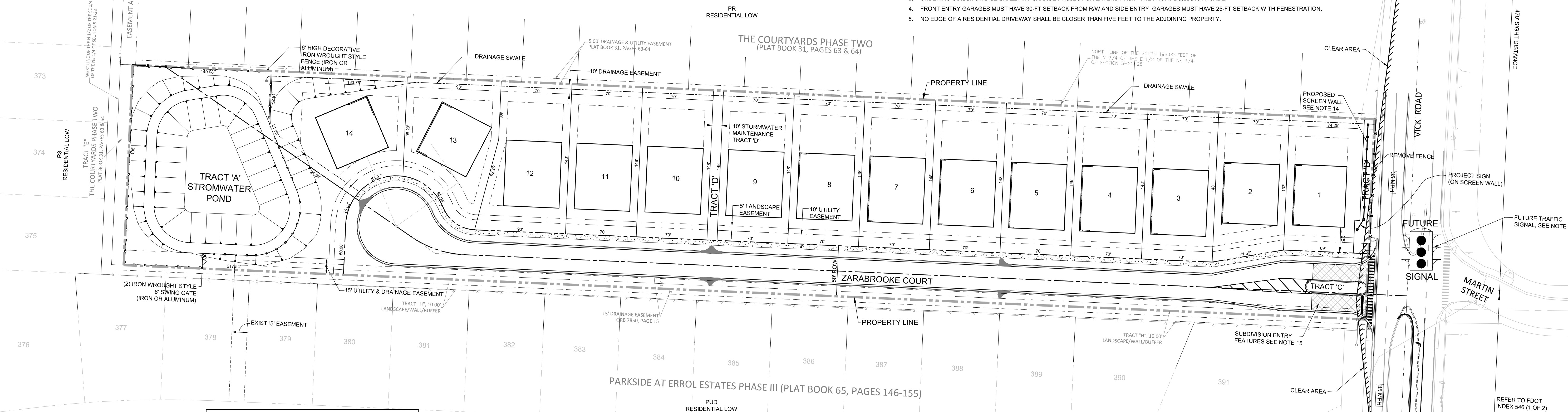


* ALL UNITS WILL PROVIDE MIN. 2 CAR GARAGE

TYPICAL BUILDING LAYOUTS
NTS

NOTES:

- A MINIMUM OF 3 LOTS MUST BE DESIGNED WITH RECESSED TYPE GARAGE. ALL OTHER LOTS CAN BE DESIGNED WITH GARAGE TYPES THAT ARE EITHER SIDE-ENTRY OR FLUSH.
- GARAGE DESIGN TO BE STAGGERED SO THAT NO ONE GARAGE TYPE IS PLACED NEXT TO EACH OTHER TO 'BREAK-UP' ELEVATIONS WHERE FEASIBLE.
- UNDER NO CIRCUMSTANCE SHALL ANY GARAGE PROJECT OR EXTEND FROM THE FRONT BUILDING FACADE.
- FRONT ENTRY GARAGES MUST HAVE 30-FT SETBACK FROM RW AND SIDE ENTRY GARAGES MUST HAVE 25-FT SETBACK WITH FENESTRATION.
- NO EDGE OF A RESIDENTIAL DRIVEWAY SHALL BE CLOSER THAN FIVE FEET TO THE ADJOINING PROPERTY.



NOTES:

- TYPE OF UNIT: SINGLE FAMILY DETACHED
- MINIMUM NET LIVING AREA: 1,800 SF
- MINIMUM BUILDING SETBACKS:
FRONT: 25 FEET
REAR: 20 FEET
SIDE: 7.5 FEET (25 FEET, CORNER LOT) (15' BETWEEN BUILDINGS)
SIDE STREET: 25 FEET
- MAXIMUM BUILDING HEIGHT: 35 FEET
- MAXIMUM BUILDING COVERAGE PER LOT: 3,575 SF (0.08 AC)
- MAXIMUM IMPERVIOUS SURFACE PER LOT 3,825 SF (0.09 AC)
- MAXIMUM NUMBER OF LOTS: 15
- MINIMUM LOT SIZE REQUIREMENT: 7,500 SF (0.172 AC.)
- MINIMUM LOT WIDTH: 70 FEET
- MAXIMUM GROSS DENSITY: 15 LOTS / 5.59 AC. = 2.68 DU/AC
- ALL ROADS WITHIN THE SUBDIVISION WILL BE DEDICATED PUBLIC ROADS WITH 50' RIGHT-OF-WAY
- LANDSCAPE BUFFERS 10' MINIMUM.
- DUE TO THE NUMBER OF LOTS PROPOSED (LESS THAN 20) A PARK IS NOT REQUIRED TO BE PROVIDED PER THE CITY'S LDC.
- WALL WILL HAVE BRICK FINISH SIMILAR IN FINISH & COLOR TO EXISTING WALLS ALONG VICK ROAD. COLUMNS WILL BE SPACED AT 12' INTERVALS. (REFER TO DETAIL ON SHEET C5.2)
- SUBDIVISION ENTRY WILL CONSIST OF ONE OR MORE OF THE FOLLOWING:
A. EXTENSIVE LANDSCAPE / IRRIGATION AT ENTRY (TRACT 'C' MAINTAINED BY HOA).
B. HARDSCAPE / PAVER DESIGN.
C. DECORATIVE SUBDIVISION IDENTIFICATION SIGNAGE W/ LANDSCAPING.
D. POSSIBLE ABOVE GROUND FEATURES AS DEEMED APPROPRIATE FOR STYLE / THEME OF SUBDIVISION.
- STREET LIGHT POLES AND FIXTURES WILL BE OF DECORATIVE TYPE MATCHING STYLE / THEME OF SUBDIVISION, AND SHALL BE PROVIDED BY DUKE ENERGY.
- STREET TREES SPACED AT 25' TO 30' ON CENTER (NOT INCLUDING LOT TREES) MEETING CITY'S MINIMUM REQUIREMENTS WILL BE SHOWN ON LANDSCAPE PLAN PROVIDED WITH THE FINAL DEVELOPMENT PLAN.
- TRACT 'A' WILL BE LANDSCAPED IN ADDITION TO THE DECORATIVE FENCE AS A MEANS OR MITIGATING THE RECTILINEAR SHADE OF THE POND. PERPETUAL MAINTENANCE WILL BE ADDRESSED BY THE HOA COVENANTS AND RESTRICTIONS.
- STREET TREES AND A CONTINUOUS HEDGE ALONG VICK ROAD WILL BE PROVIDED PER CITY REQUIREMENTS AND SPACED AT 35' ON CENTER.
- ALL ABOVE GROUND UTILITY EQUIPMENT W/ IN EASEMENT WILL BE SCREENED BY LANDSCAPING PLAN - ON SITE / PRIVATE EQUIPMENT WHICH REQUIRES SCREENING WILL BE ADDRESSED BY THE HOA COVENANTS AND RESTRICTIONS.

"VEHICULAR ACCESS RIGHTS FROM ZARABROOKE COURT RIGHT-OF-WAY SHALL BE DEDICATED TO THE CITY OF APOPKA"

- IN LIEU OF CONSTRUCTING SIDEWALKS ON BOTH SIDES OF ZARABROOKE COURT 'A' DEVELOPER ELECTS TO CONTRIBUTE TO THE CITY'S SIDEWALK CONSTRUCTION FUND FOR THE EQUIVALENT OF 5,000 SF OF 4" SIDEWALK.
- ALL LANDSCAPE REQUIREMENTS INCLUDING MIN. DBH TREES PER LOT, ETC. MAY BE NECESSARILY UPGRADED OR ENHANCED BEYOND THE CITY'S MINIMUM STANDARDS IN ORDER TO MEET THE TREE REPLACEMENT REQUIREMENTS.
- LANDSCAPING CONSISTING OF UNDERSTORY TREES (HOLLY, ETC.) AND HEDGES WILL BE PROVIDED ALONG THE SOUTH PROPERTY LINE AND MAINTAINED BY THE HOA.
- LOT TREES (3 CANOPY, 1 UNDERSTORY) WILL BE PROVIDED AT TIME OF LOT DEVELOPMENT. CANOPY TREES WILL BE OF MAPLE, OAK OR SIMILAR VARIETY. LOT TREES WILL BE MINIMUM 3" DBH AT TIME OF PLANTING.
- STREET LIGHTS AND FIXTURES SHALL BE PROVIDED BY DUKE ENERGY. THE CITY OF APOPKA SHALL COVER THE COST FOR STANDARD LIGHT STYLE; THE DEVELOPER SHALL BE RESPONSIBLE FOR THE UPGRADE COST TO LED AND DECORATIVE LIGHTING.
- CITY OF APOPKA IS PLANNING TO CONSTRUCT A TRAFFIC SIGNAL AT THE INTERSECTION OF VICK ROAD AND MARTIN STREET. ZARABROOKE, LLC WILL ENTER INTO A COST-SHARING AGREEMENT WITH THE CITY FOR THE ADDITION OF A WEST LEG OF THE INTERSECTION FOR ZARABROOKE COURT.
- STREET TREES SOUTH OF ZARABROOKE COURT WILL BE PLANTED AT TIME OF C.O. OF THE CORRESPONDING RESIDENTIAL LOTS ACROSS THE STREET.
- ARCHITECTURAL RENDERINGS FOR ALL RESIDENTIAL BUILDINGS MUST BE SUBMITTED TO, AND APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT BEFORE SUBMITTING FOR BUILDING PERMIT.



High-pressure sodium	100 watts
Mounting height	12'
Color	Black
Pole	Decorative concrete

**DUKE ENERGY OCALA MODEL
OUTSIDE LIGHT POLE / FIXTURE**

ENGINEER
EDGARDO GARCIALUNA, P.E.
FL. LIC. #76902

DATE: Jan. 29, 2018

NO.	DATE	REVISIONS

RECORD DRAWING.
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ZARABROOKE
at
VICK & W. MARTIN STREET
APOPKA, FLORIDA

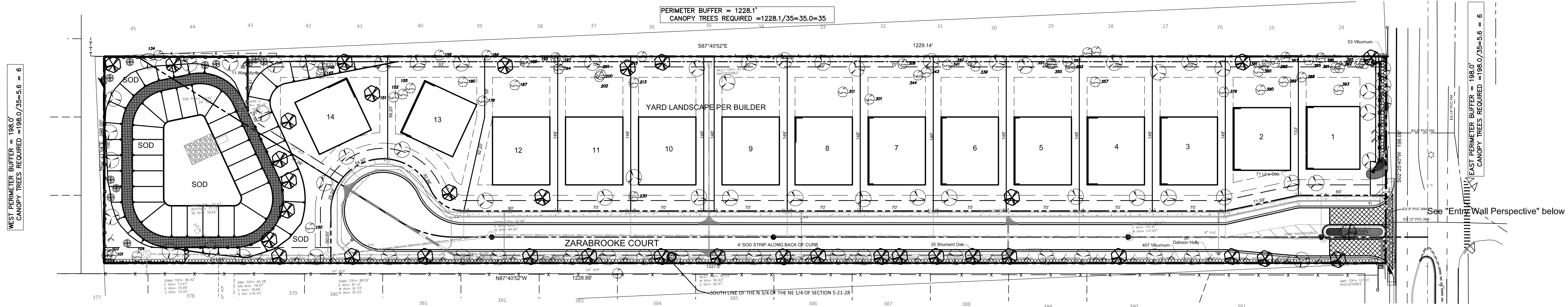
ZARABROOKE, LLC

MASTER DEVELOPMENT PLAN

LOCHRANE
Consulting Engineers & Surveyors
An NVIS Company

201 SOUTH BUNNY AVENUE | ORLANDO, FL 32803
PH: (407) 888-3317 | FAX: (407) 888-5187
WWW.LOCHRANE.COM

CERTIFICATE OF AUTHORIZATION # 0002856



LANDSCAPE PLAN Scale: 1"=50'

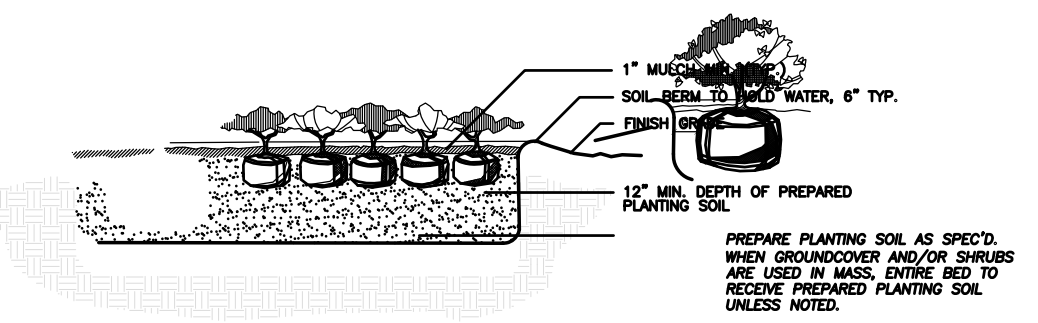
GENERAL NOTES

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATION OF PROPOSED IMPROVEMENTS PRIOR TO INITIATING ANY CONSTRUCTION.
- LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS PRIOR TO INITIATING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY DAMAGE TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DO NOT MEET WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
- ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
- THE CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE DURING THE COURSE OF THIS WORK. EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HRS MINIMUM PRIOR TO DIGGING FOR FIELD VERIFICATION OF ALL UNDERGROUND UTILITIES.
- ALL EXISTING SITE ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS, AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.

LANDSCAPE NOTES

- THE CONTRACTOR SHALL REVIEW ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK.
- PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF TREE MATERIAL AND SPECIMEN PLANT MATERIAL TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE.
- THE CONTRACTOR SHALL TEST THE PROJECT SOILS TO VERIFY THAT THE SOILS ON-SITE ARE ACCEPTABLE FOR PROPER GROWTH OF PLANT MATERIALS AND ADEQUATE DRAINAGE IN PLANT BEDS AND PLANTERS. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND PROCUREMENT OF EXISTING ON-SITE SOIL SAMPLES WITH THE OWNER'S REPRESENTATIVE. REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO A CERTIFIED TESTING LABORATORY FOR ANALYSIS. THE FINDINGS, TOGETHER WITH RECOMMENDATIONS FOR AMENDING THE SOILS SHALL BE REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND PRIOR TO DELIVERY AND INSTALLATION OF PLANT MATERIALS AT THE JOB.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE OWNER'S REPRESENTATIVE.
- PEG SOD ON SLOPES GREATER THAN 3:1.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK.
- CONTRACTOR SHALL FIELD-ADJUST LOCATION OF PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 1" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE NO MORE THAN 1" THICK, 24" RADIUS (FROM THE TRUNK) MULCH RING PLACED ON TOP OF THE ROOT BALL.
- SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED ON THE PLANT LIST. PLANT ACCENT SHRUBS AND TREES AS SHOWN ON THE LANDSCAPE PLANTING PLANS WHEN INDIVIDUAL PLANTS ARE DELINEATED.
- PALM HEIGHTS, IF INDICATED ON THE PLANS, REFER TO CLEAR TRUNK (C.T.), GRAY WOOD (G.W.), OR OVERALL HEIGHT (O.A.) AS SPECIFIED ON THE PLANT LIST.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
- CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENTS OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.

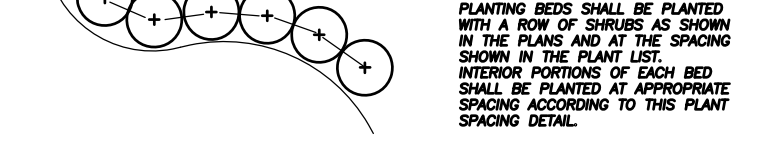
- UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR SUBSTANTIAL COMPLETION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE OF SURVIVABILITY OF ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR MUST APPROVE ALL GRADED AREAS PRIOR TO THE COMMENCEMENT OF PLANTING.
- THE CONTRACTOR SHALL ENGAGE A QUALIFIED ARBORIST WHO HAS SUCCESSFULLY COMPLETED TREE PROTECTION AND TREE TRIMMING WITH FIVE YEARS OR MORE EXPERIENCE, TO PERFORM THE FOLLOWING WORK:
 - CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN AS SHOWN ON DRAWINGS OR BY MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR TO CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
 - PERFORM INITIAL PRUNING OF BRANCHES AND STIMULATION OF ROOT GROWTH WHERE REMOVED TO ACCOMMODATE NEW CONSTRUCTION.
 - PERFORM TREE REPAIR WORK FOR DAMAGE INCURRED BY NEW CONSTRUCTION.
 - CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
 - IF TREES ARE RELOCATED, CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION SYSTEM.



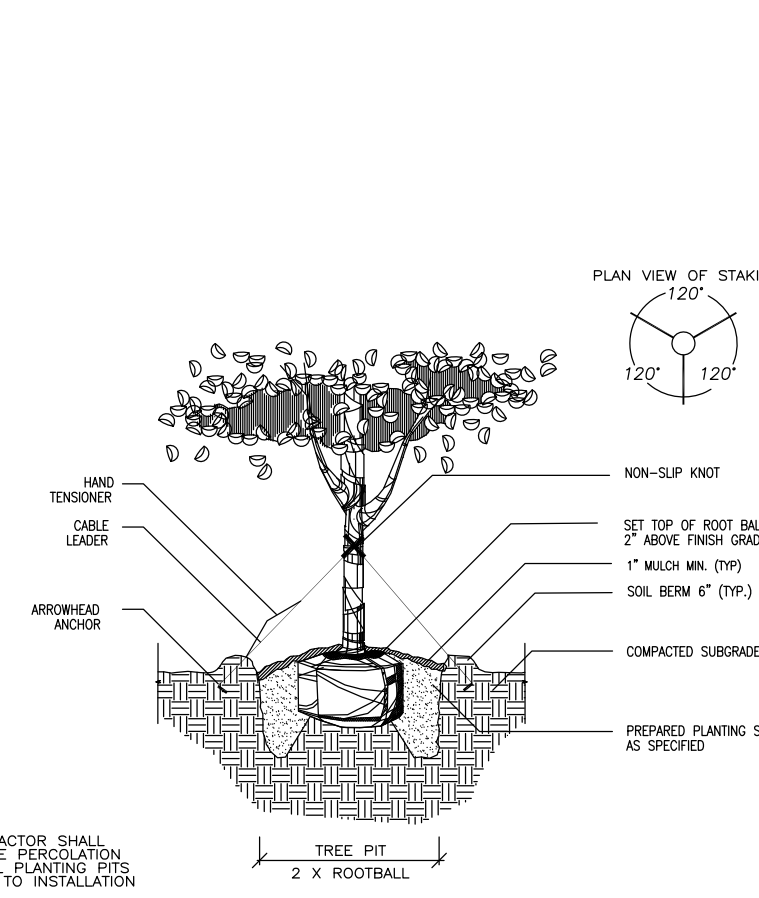
SHRUB AND GROUND COVER DETAIL



PLANT SPACING DETAIL



TREE PLANTING DETAIL (65 TO 100 GAL.)



ENTRY WALL PERSPECTIVE

TREE REPLACEMENT PLAN:

TOTAL SITE NEW = 107 CANOPY, 53 UNDERSTORY
REPLACEMENT INCHES = 160 X 3" = 480"
TOTAL SITE SAVED = 1,054"
TOTAL INCHES POST DEVELOPMENT 1,534"

PLANT SCHEDULE

Quan.	Common Name	Botanical Name	Size	Spacing
35	Shumard Oak	Quercus shumardii	3" Caliper DBH; 12' Height	As Shown
71	Live Oak	Quercus virginiana	3" Caliper DBH; 12' Height	As Shown
1	Magnolia	Magnolia grandiflora	3" Caliper DBH; 10' Height	As Shown
42	Dahoon holly	Ilex cassine	3" Caliper DBH; 10' Height	As Shown
11	Wax Myrtle	Myrica cerifera	3" Caliper DBH; 10' Height	As Shown
25	Indian Hawthorn	Raphiropes indica	3 Gallon; 15-18" x 15-18"	As Shown
460	Viburnum	Viburnum odoratissimum	3 Gallon; 30" Height	As Shown
36	Lorepetalum	Loropetalum chinensis	3 Gallon; 15-18" x 15-18"	24" on Center
350	Dwarf Confederate Jasmine	Trachelospermum asiaticum	1 Gallon; 9-12" spread	24" on Center
TBD	Bahiagrass	SOD Paspalum Notatum 'Argentine'	NA	NA
TBD	Pine bark	NA	NA	3" thick in all planting beds

- *NOTE:
1. THE FINAL LANDSCAPE PLAN MAY VARY IN THE DISTRIBUTION OF TREE TYPE, DBH, OR SPECIES BUT THE TOTAL INCHES PROPOSED MUST BE PROVIDED.
2. THE DEVELOPER REQUESTS THE 9' OF REQUIRED MISSING REPLACEMENT TREES, BE WAIVED BY THE CITY IF THE CITY DETERMINES THAT THE REMAINING NUMBER OF TREES PRESERVED ON SITE AND THE PROPOSED 780" OF NEW CALIPER ARE OF SUFFICIENT NUMBER AND QUALITY TO SUBSTANTIALLY COMPLY WITH THE PURPOSE AND INTENT OF THE CODE. ALL TREES LOCATED IN THE ENTRY AND RETENTION AREA WILL BE PLANTED BY THE DEVELOPER. ALL TREES LOCATED ON LOTS AND ALONG ZARABROOKE CT WILL BE PLANTED BY THE BUILDER AND INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY OF THE RESIDENCE.

REV	DATE	REVISION
1	10.16.2017	CITY MODIFICATIONS
2	1.30.2018	CITY COMMENTS
3	2.13.2018	CITY COMMENTS

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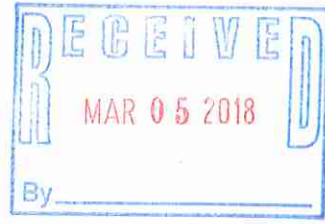
ZARABROOKE

VICK & MARTIN STREET

APOPKA, FLORIDA

PROJECT:
DATE:
DRAWN BY:
CHECKED BY:
TITLE:
LANDSCAPE PLAN
SCALE: AS NOTED
SHEET:
L-1

IF THIS SHEET IS LESS THAN 24" X 36"
IT IS A REDUCED DRAWING



FINAL DEVELOPMENT PLANS



SITE DATA

PARCEL ID NO.	05-21-28-0000-00-022, 056, 057, 058, 059, 060, 061, 062, 063, 064, 065, 066, 067, 068, 069, 070, 071		
FUTURE LAND USE	RESIDENTIAL LOW		
ZONING	R-3		
ADJACENT LAND USE	NORTH: RESIDENTIAL LOW	EAST: PUBLIC RIGHT OF WAY	
	SOUTH: RESIDENTIAL LOW	WEST: RESIDENTIAL LOW	
ADJACENT ZONING	NORTH: PR	EAST: PUBLIC RIGHT OF WAY	
	SOUTH: PUD	WEST: PUD	
ACREAGE/SQUARE FOOTAGE	ACRES: 5.59	SF: 243,343	
BUILDING HEIGHT	PROPOSED: 35 FEET	MAX: 35 FEET	
DENSITY	PROPOSED: 2.68 DU/AC		
BUILDING SETBACKS	PROPOSED: FRONT: 25' SIDE: 7.5' REAR: 20' CORNER: 25'		
	REQUIRED: FRONT: 25' SIDE: 7.5' REAR: 20' CORNER: 25'		
TREE BANK MITIGATION FEE	N/A		
WAIVER REQUEST	N/A		
VARIANCE REQUEST	N/A		

LEGAL DESCRIPTION

THE SOUTH 198.00 FEET OF THE NORTH 3/4 OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; LESS THE WEST 12 FEET THEREOF AND LESS AND EXCEPT ROAD RIGHT-OF-WAY ON THE EAST.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN N 02°25'40"E ALONG THE EAST LINE OF NORTHEAST 1/4 SAID SECTION 5, A DISTANCE OF 663.59 FEET TO THE SOUTHEAST CORNER OF THE NORTH 3/4 OF THE NORTHEAST 1/4 OF SAID SECTION 5; THENCE RUN N 87°40'52"W ALONG THE SOUTH LINE OF SAID NORTH 3/4 A DISTANCE OF 80.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF VICK ROAD (80' RIGHT-OF-WAY) FOR A POINT OF BEGINNING; THENCE CONTINUE N 87°40'52"W ALONG SAID SOUTH LINE OF THE NORTH 3/4 OF THE NORTHEAST 1/4 OF AFORESAID SECTION 5 A DISTANCE OF 1228.88 FEET TO THE SOUTHEAST CORNER OF TRACT "E", THE COURTYARDS PHASE TWO, AS RECORDED IN PLAT BOOK 31, PAGES 63 & 64, ORANGE COUNTY, FLORIDA; THENCE RUN N 02°21'04"E ALONG THE EAST LINE OF SAID "TRACT "E" 198.00 FEET TO THE SOUTHERLY LINE OF LOT 45, OF SAID "THE COURTYARDS PHASE TWO"; THENCE RUN S 87°40'52"E ALONG THE SOUTHERLY LINES OF LOTS 24 THRU 45, OF SAID "THE COURTYARDS PHASE TWO" 1229.14 FEET TO THE AFORESAID WESTERLY RIGHT-OF-WAY LINE OF VICK ROAD; THENCE RUN S 02°25'40"W ALONG SAID WESTERLY RIGHT-OF-WAY LINE 198.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 5.59 ACRES MORE OR LESS.

NOTE:

LETTER SHALL BE OBTAINED FROM THE FLORIDA FISH AND WILDLIFE CONSERVATION COMMISSION (FWCC) REGARDING MANAGEMENT PLAN FOR ENDANGERED SPECIES, PRIOR TO ANY CONSTRUCTION ACTIVITIES ON SITE.

ZARABROOKE SUBDIVISION

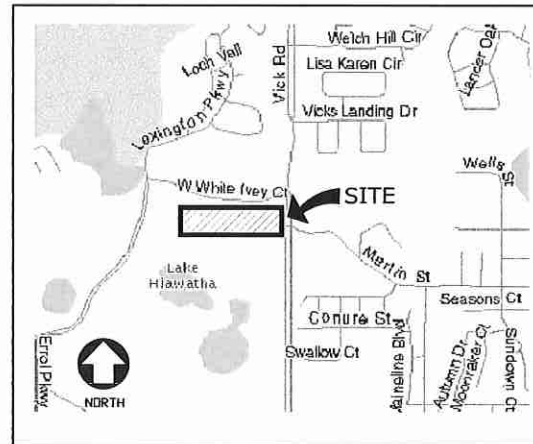
AT

VICK ROAD AND WEST MARTIN STREET
APOPKA, FLORIDA
ORANGE COUNTY

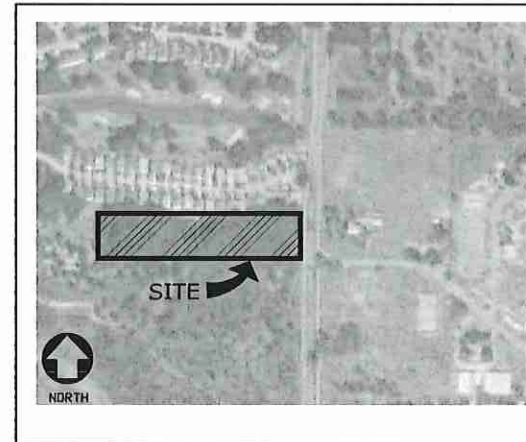
FOR

OWNER
ZARABROOKE, LLC
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MAITLAND, FLORIDA 32751
PH. (407) 645-4500

CIVIL ENGINEER
LOCHRANE ENGINEERING, INC.
201 SOUTH BUMBY AVENUE
ORLANDO, FLORIDA 32803
PH. (407) 896-3317



VICINITY MAP



AERIAL PHOTO

CONSULTANTS AND UTILITIES

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BOUNDARY & SURVEY HLSM, LLC 794 BIG TREE DRIVE LONGWOOD, FLORIDA 32750 WILLIAM F. MENARD 407-647-7346	TELEPHONE: CENTURY LINK 952 1ST STREET ROOM 103 ALTAMONTE SPRINGS, FL 32701 407-624-0464
WATER AND SANITARY SEWER: CITY OF APOPKA PUBLIC SERVICES 748 EAST CLEVELAND STREET APOPKA, FLORIDA 32703 407-703-1731	TELEVISION & INTERNET: CENTURY LINK 952 1ST STREET ROOM 103 ALTAMONTE SPRINGS, FL 32701 407-624-0464

SHEET INDEX

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3	C0.2	MASTER DEVELOPMENT PLAN
4	C0.3	EROSION CONTROL & TREE PROTECTION PLAN
5	C0.4	EROSION CONTROL & TREE PROTECTION DETAILS
6	C0.5	DEMOLITION PLAN
7	C1.0	LAYOUT GEOMETRY PLAN
8	C1.1	PROJECT ENTRANCE & OFF-SITE TURN LANE IMPROVEMENTS
9	C2.0	GRADING AND DRAINAGE PLAN
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11	C3.0	UTILITY PLAN
12	C4.1	PLAN & PROFILE
13	C4.2	PLAN & PROFILE
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18	L-1	LANDSCAPE PLAN (PREPARED BY R. MILLER ARCHITECTURE)
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20	1	BOUNDARY & TOPOGRAPHIC SURVEY (PREPARED BY HLSM, LLC)
21	2	BOUNDARY & TOPOGRAPHIC SURVEY (PREPARED BY HLSM, LLC)
22	1	PLAT (PREPARED BY HLSM, LLC)



ENGINEER: EDGARDO GARCIA-LUNA, P.E. FL. LIC. 178802
 PROJECT MANAGER: ECL
 DESIGNER: ECL
 CHECKED: JM
 DATE: JAN. 04, 2018

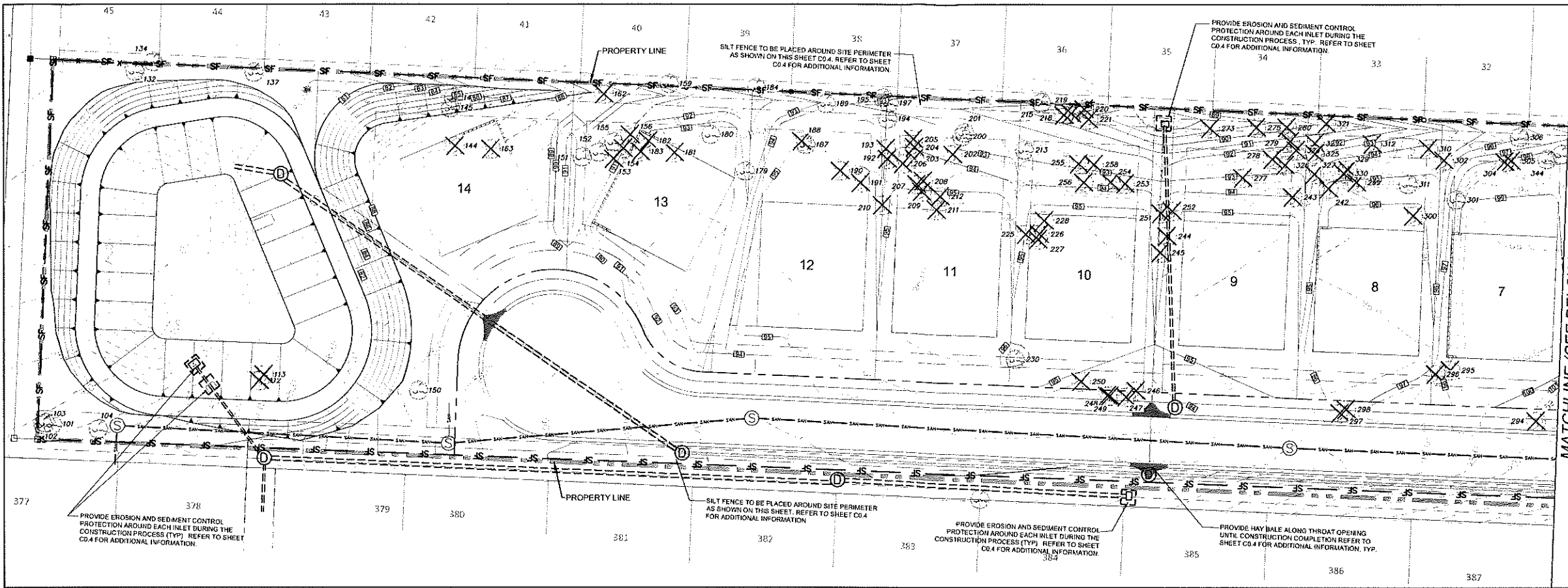
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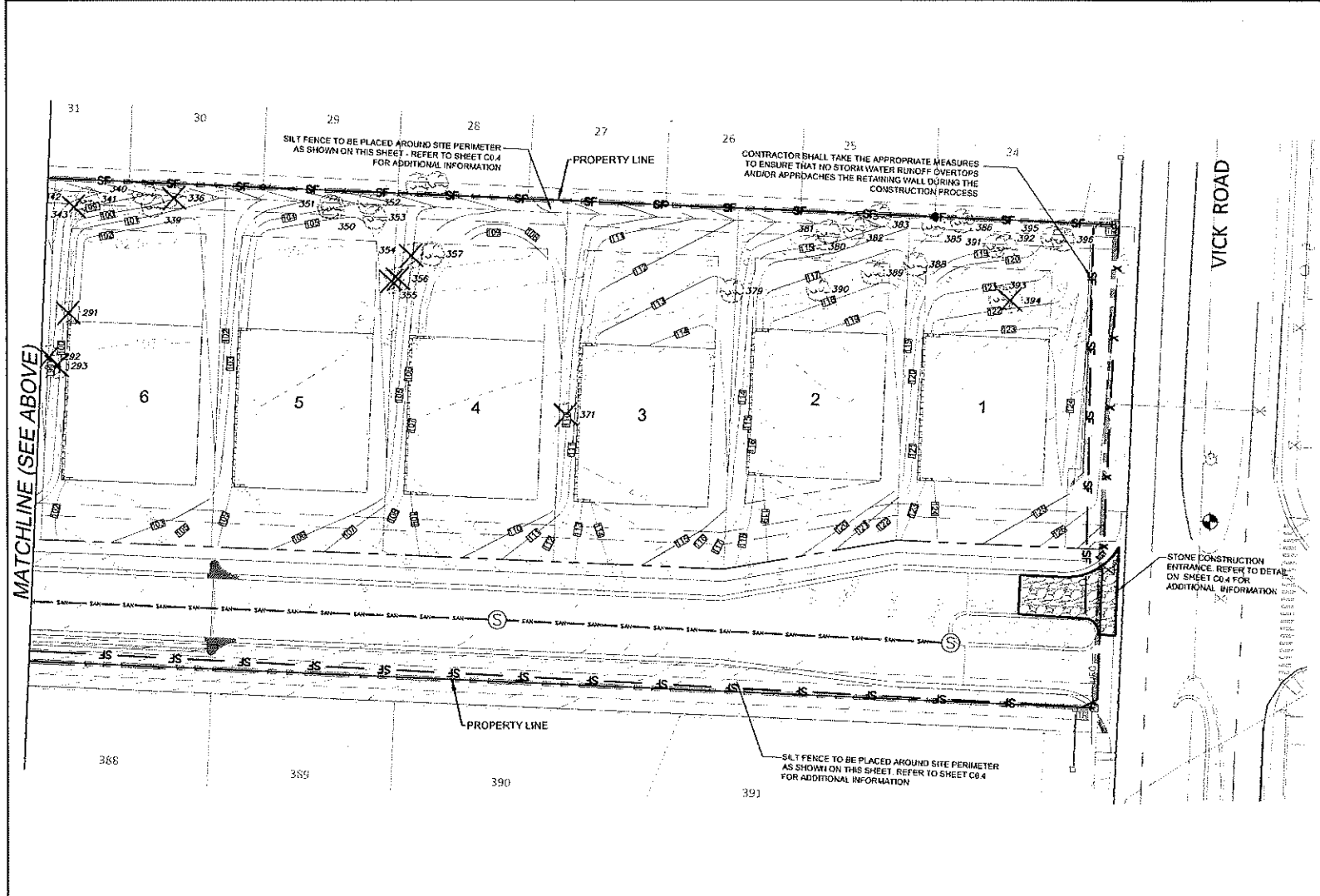
DRAWING NO. C0.0 SHEET 1 OF 22



- LEGEND:**
- TEMPORARY STORM INLET PROTECTION
 - STAKED SILT FENCE
 - STONE CONSTRUCTION ENTRANCE (TEMPORARY)
 - EXISTING TREE TO BE SAVED
 - EXISTING TREE TO BE REMOVED

EROSION/SEDIMENTATION CONTROL NOTES:

1. CONTRACTOR SHALL COMPLY WITH PHASE II REGULATIONS AND PROVIDE EROSION CONTROL MEASURES IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
2. CONTRACTOR IS TO PROVIDE EROSION CONTROL & SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATER WAY.
3. CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES. EROSION CONTROL BARRIER SHALL BE ESTABLISHED AS SITE CLEARING PROCEEDS AND MAINTAINED UNTIL SUCH TIME AS VEGETATION OR OTHER CONTROLS BECOME EFFECTIVE.
4. ALL EROSION CONTROL DEVICES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROPRIATE EROSION AND SEDIMENTATION CONTROL RULES AND GUIDELINES.
5. ALL EROSION AND SILTATION MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
6. ALL STORM AND SANITARY SEWER LINES NOT IN STREETS ARE TO BE MULCHED AND SEEDED WITHIN SEVEN DAYS AFTER BACKFILL. NO MORE THAN FIVE HUNDRED FEET ARE TO BE OPEN AT ONE TIME.
7. ALL TEMPORARY EARTH BERM, DIVERSIONS, AND SILT DAMS ARE TO BE MULCHED AND SEEDED FOR VEGETATIVE COVER IMMEDIATELY AFTER GRADING. STRAW OF HAY MULCH IS REQUIRED. THE SAME APPLIES TO STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
8. ELECTRIC POWER, TELEPHONE, CABLE TELEVISION AND GAS SUPPLY TRENCHES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN FIFTEEN DAYS AFTER BACKFILL.
9. TEMPORARY SEEDING WILL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN THIRTY DAYS. FOR TEMPORARY SEEDING USE FIFTY PERCENT OF THE RECOMMENDED RATES OF FERTILIZER AND LIME AMOUNTS OF SEED AND MULCH REQUIRED FOR REGULAR SEEDING.
10. DURING CONSTRUCTION, ALL STORM SEWER INLETS WILL BE PROTECTED BY THE APPROPRIATE DEVICE, MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.
11. CONSTRUCTION SHALL BE SEQUENCED SO THAT ALL EARTH MOVING AND GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
12. FINAL REMOVAL OF EROSION CONTROL DEVICES SHALL NOT OCCUR UNTIL THE LOCAL EROSION CONTROL INSPECTOR HAS DEEMED THE SITE STABILIZED.
13. AFTER THE COMPLETION OF THE STORM SEWER SYSTEM FOR THE PROJECT SITE, THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO ENSURE THAT THE STORMWATER RUNOFF IS TREATED PROPERLY BEFORE DISCHARGING INTO THE OVERALL STORM SEWER SYSTEM BY USING THE APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES.
14. CONTACT THE LOCAL ENVIRONMENTAL INSPECTOR PRIOR TO CONNECTING TO THE OVERALL STORM SEWER SYSTEM TO ENSURE THAT THE PROJECT SITE HAS BEEN STABILIZED PER HIS SATISFACTION.



TREE PROTECTION DATA:

TREE INCHES ON PROPERTY:
 SPECIMEN TREE INCHES = 781
 NON-SPECIMEN EXOTIC = 1,017
 NON-SPECIMEN NON-EXOTIC = 554
 TOTAL TREE INCHES ON PROPERTY = 2,352

TREE INCHES TO BE REMOVED:
 SPECIMEN TREE INCHES = 196
 NON-SPECIMEN EXOTIC = 1,017
 NON-SPECIMEN NON-EXOTIC = 126
 TOTAL TREE INCHES TO BE REMOVED = 1,339

TREE INCHES TO BE SAVED:
 SPECIMEN TREE INCHES = 585
 NON-SPECIMEN EXOTIC = 0
 NON-SPECIMEN NON-EXOTIC = 428
 TOTAL TREE INCHES TO BE SAVED = 1,013

NUMBER TREE SAVED = 55
 UNDISTURBED TREE SAVE AREA (20" DIA.) = 314 SF
 UNDISTURBED AREA = (IF TREE SAVED) = 314 SF = 55 x 314 = 17,270 SF
 SITE CLEARING AREA = 243,343 (TOTAL SITE) - 17,270 SF = 226,073 SF

TREE INCHES TO BE REPLACED:
 SPECIMEN TREE INCHES = 196
 NON-SPECIMEN EXOTIC = 0
 NON-SPECIMEN NON-EXOTIC = 126
 TOTAL TREE INCHES TO BE REPLACED = 322

TOTAL MAX PER 5.01.07-2C = 21 * (322 / 1000 SF) * (226,073 - 6,000) = 781

THEREFORE, MAXIMUM TREE STOCK REPLACEMENT BY CITY CODE IS 791 INCHES

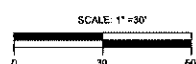
TREE REPLACEMENT PLAN:

REFER TO LANDSCAPE PLAN, SHEET L-1 FOR TREE REPLACEMENT INFORMATION

NOTE:
 1. ALL EXISTING TREES TO BE SAVED SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO SHEET C0.4 FOR TREE PROTECTION DETAIL.

TREE SCHEDULE

ID	TYPE SIZE (INCHES)	TO REMAIN (O)	TO BE REMOVED (X)	ID	TYPE SIZE (INCHES)	TO REMAIN (O)	TO BE REMOVED (X)	ID	TYPE SIZE (INCHES)	TO REMAIN (O)	TO BE REMOVED (X)	ID	TYPE SIZE (INCHES)	TO REMAIN (O)	TO BE REMOVED (X)
101	PINE 6"	O		189	OAK 16"	O		226	EAR 13"		X	297	OAK 24"		X
102	PINE 6"	O		190	CHRY 12"		X	230	OAK 6"	X		298	OAK 6"	X	
103	PINE 6"	O		181	CHRY 6"		X	242	CHRY 15"		X	299	CHRY 7"		X
104	PINE 6"	O		192	CHRY 10"		X	243	EAR 12-12-12"		X	300	EAR 15"		X
112	OAK 15-2"		X	193	CHRY 12"		X	244	EAR 28"		X	301	OAK 18"	O	
113	OAK 10"		X	194	OAK 20"	O		245	EAR 7"		X	302	EAR 12"		X
132	PINE 6"	O		195	OAK 6"	O		246	EAR 18-15"		X	304	EAR 10"		X
134	OAK 15-2"	O		197	OAK 6"	O		247	EAR 7-10"		X	305	EAR 15"		X
137	CMPH 18"	D		200	OAK 6"	O		248	EAR 7-12"		X	306	OAK 18"	D	
144	OAK 30"		X	201	OAK 16"	O		249	EAR 7-12"		X	310	EAR 16"		X
145	OAK 30"	O		202	CHRY 9"		X	250	OAK 30" DEAD		X	311	OAK 10-13"	O	
146	OAK 30"	O		203	CHRY 9"		X	251	EAR 7-11"		X	312	EAR 20"		X
150	OAK 24-12-12"	O		204	CHRY 10"		X	252	EAR 12-11"		X	321	CMPH 6"		X
151	OAK 15"	O		205	CHRY 7"		X	253	EAR 15"		X	322	CMPH 6-15"		X
152	OAK 13"	O		206	CHRY 7"		X	254	EAR 18"		X	324	EAR 9"		X
153	OAK 13"		X	207	CHRY 6"		X	255	EAR 6"		X	325	EAR 15"		X
154	OAK 6"		X	208	CHRY 7"		X	256	CHRY 15"		X	326	EAR 15-15"		X
155	OAK 24"	O		209	CHRY 9"		X	258	EAR 10"		X	327	EAR 10"		X
156	CHRY 9"		X	210	EAR 12-12"		X	273	EAR 20"		X	329	CHRY 6"		X
159	OAK 15-10"	O		211	OAK 20-20"		X	275	EAR 16-16-16"		X	330	CHRY 6"		X
162	CHRY 10"		X	212	OAK 24"		X	277	EAR 18"		X	336	EAR 20"		X
163	CHRY 10"		X	213	CHRY 12-18-20"	O		278	CHRY 10-10"		X	339	OAK 15"	O	
179	OAK 30"	D		215	OAK 24"	O		279	EAR 10"		X	340	OAK 17"	O	
180	OAK 24"	O		216	EAR 6"		X	280	EAR 12"		X	341	OAK 16"	O	
181	CHRY 9"		X	219	EAR 30"		X	281	CHRY 6"		X	342	EAR 10"		X
182	CHRY 7"		X	220	EAR 30"		X	292	EAR 6-6"		X	343	OAK 12-12"	O	
183	CHRY 10"		X	221	CHRY 9"		X	293	EAR 6-6-6"		X	344	OAK 20"	O	
184	OAK 60"	O		225	CHRY 10"		X	294	OAK 48"		X	350	PALM 8"	O	
187	OAK 13"	O		226	CHRY 10"		X	295	CMPH 8"		X	351	OAK 27"	O	
188	CHRY 6"		X	227	CHRY 10"		X	296	PALM 15"		X	352	OAK 6"	O	



ENGINEER
 EDUARDO GARCIALUNA, P.E.
 FL LIC. 17012-20

DESIGNER
 EOL

CHECKED
 JM

DATE: Jan. 04, 2018

RECORD DRAWING

THIS RECORD DRAWING IS BASED ON THE RECORDS OF THE PROJECT AND THE RECORDS OF THE PROJECT. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROJECT AND HAS FOUND THE RECORDS TO BE ACCURATE. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROJECT AND HAS FOUND THE RECORDS TO BE ACCURATE. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROJECT AND HAS FOUND THE RECORDS TO BE ACCURATE.

REVISIONS

NO.	DATE	REVISIONS
1	10/26/17	CITY OF APOPKA REVISIONS
2	10/26/17	CITY OF APOPKA REVISIONS
3	10/26/17	ERWMD REVISIONS

ZARABROOKE
 VICK & W. MARTIN STREET
 APOPKA, FLORIDA

ZARABROOKE, LLC

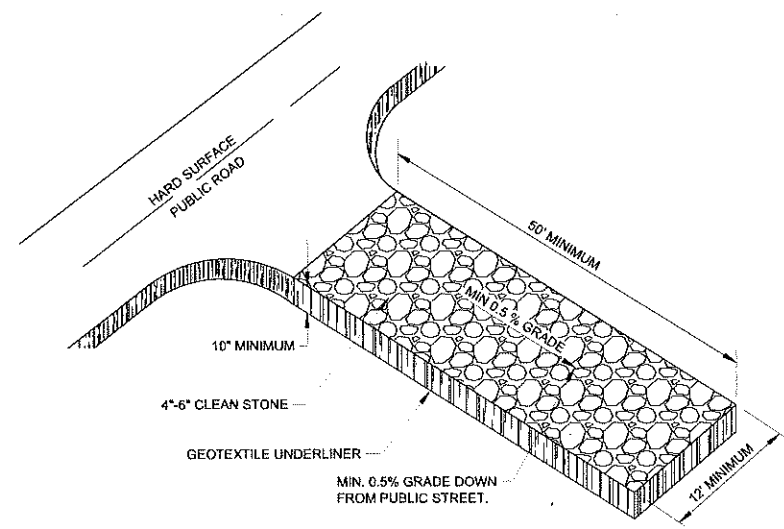
EROSION CONTROL & TREE PROTECTION PLAN

LOCHRANE
 Consulting Engineers - Surveyors
 An NVS Company

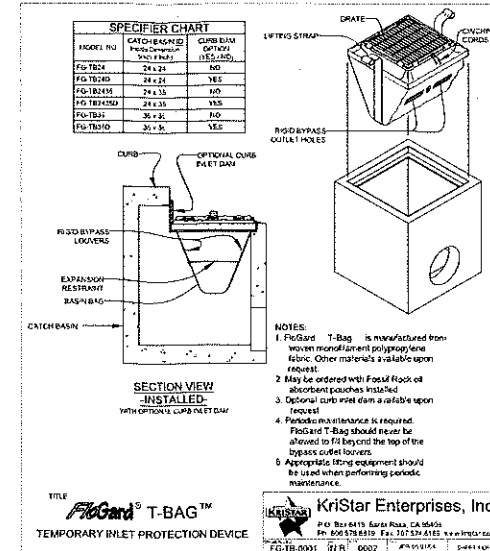
287 SOUTH BURNBY AVENUE | DELAND, FL 32833
 PH: (407) 356-3377 | FAX: (407) 356-0857
 WWW.LOCHRANE.COM

CERTIFICATE OF AUTHORIZATION # 00000000

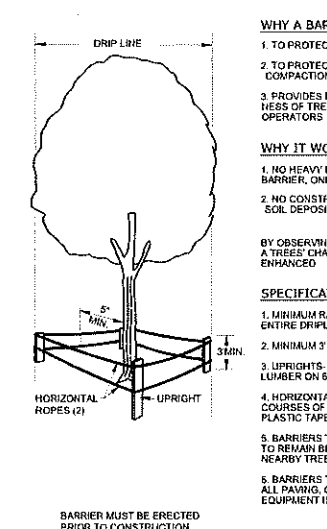
DRAWING NO. **C0.3** SHEET 4 OF 22



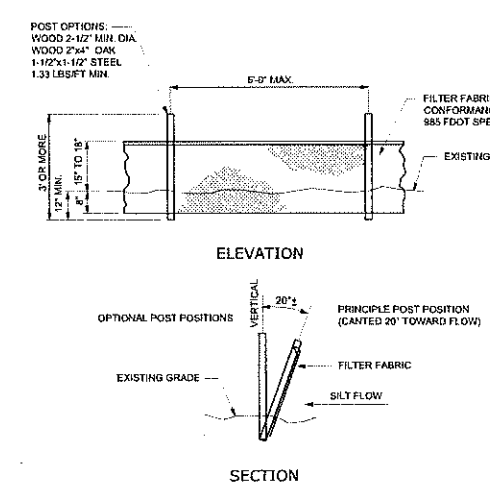
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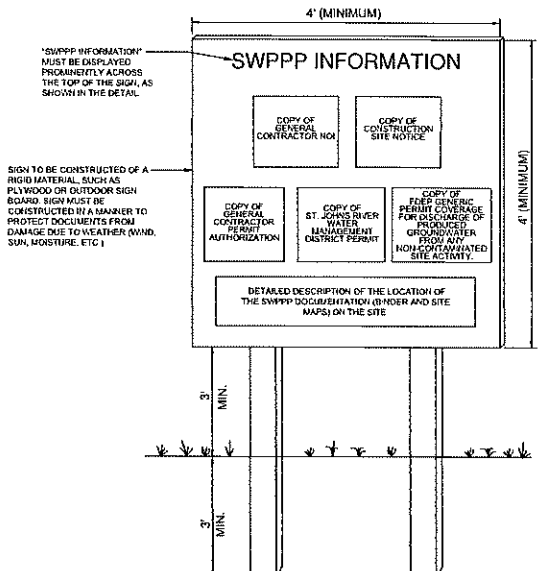
2 INLET SEDIMENT FILTER



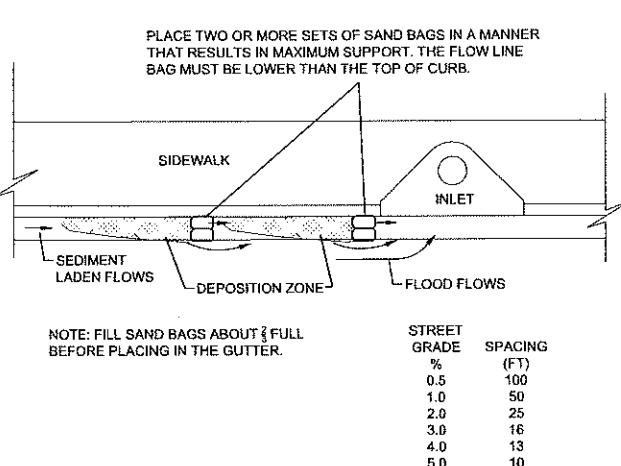
3 TREE PROTECTION DETAIL



4 SILT FENCE



5 SWPPP INFORMATION SIGN



6 CURB & GUTTER SEDIMENT CONTAINMENT SYSTEM

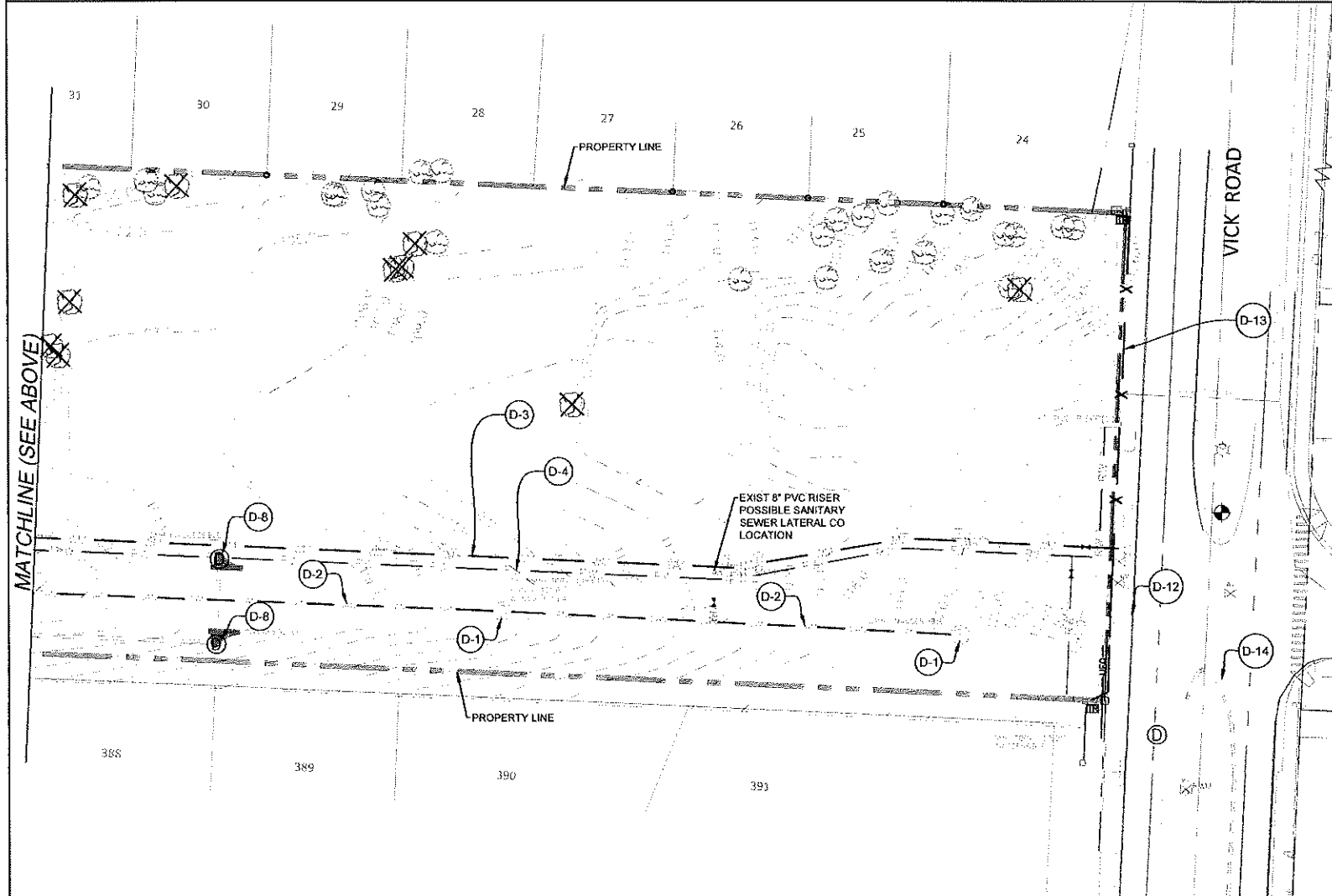
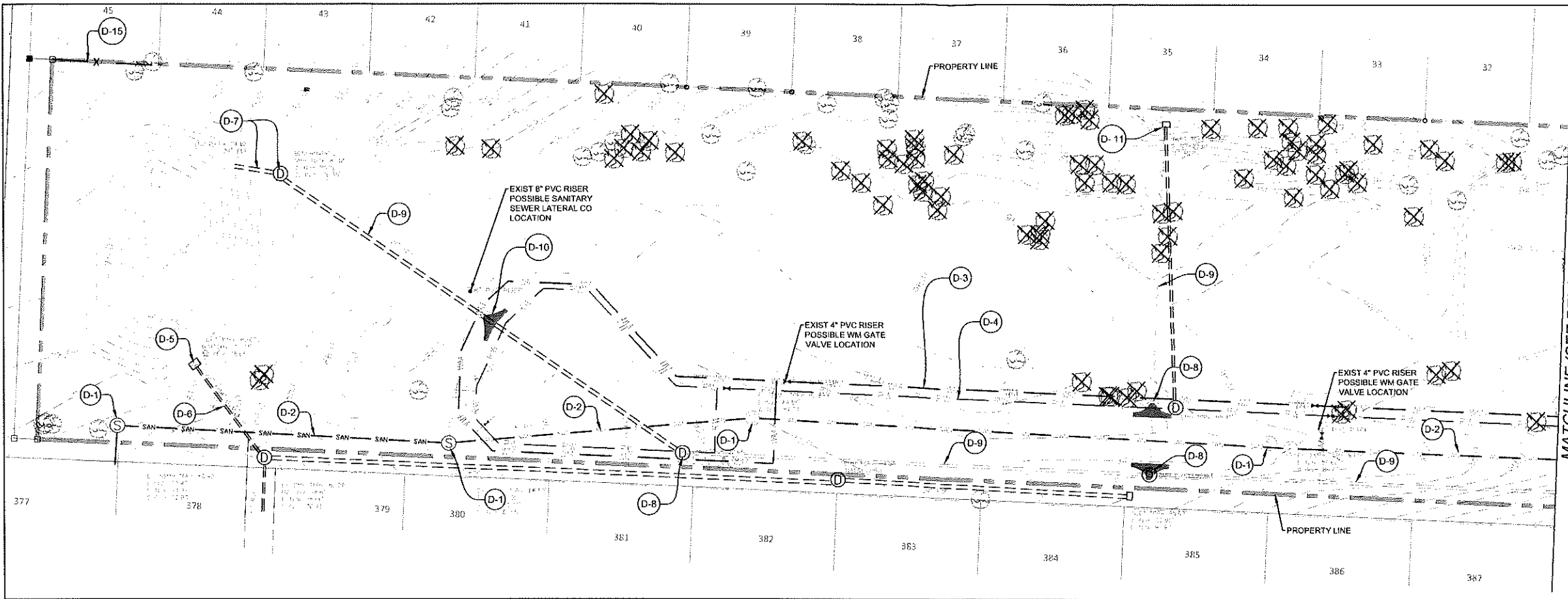
ENGINEER	EDUARDO GARCIA-LUNA, P.E. FL. LIC. #5602
DESIGNER	EDUARDO GARCIA-LUNA, P.E. FL. LIC. #5602
CHECKED	JM
DATE	JAN. 01, 2019

RECORD DRAWING	NO.	DATE
1	01/08/17	CITY OF APOPKA REVISIONS
2	02/24/17	CITY OF APOPKA REVISIONS
3	02/24/17	CITY OF APOPKA REVISIONS
4	02/24/17	CITY OF APOPKA REVISIONS
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9	02/24/17	CITY OF APOPKA REVISIONS
10	02/24/17	CITY OF APOPKA REVISIONS

ZARABROOKE
VICK & W. MARTIN STREET
APOPKA, FLORIDA
ZARABROOKE, LLC

EROSION CONTROL & TREE PROTECTION DETAILS

201 SOUTH BUNNY AVENUE | ORLANDO, FL 32803
PH: (407) 856-3377 | FAX: (407) 856-9167
WWW.LOCHRANE.COM
CERTIFICATE OF AUTHORIZATION # 00002966
An MVE Company



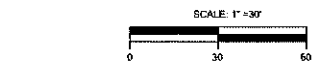
- LEGEND:**
- (D-#) DEMOLITION ITEM NO.
 - (S) EXISTING TREE TO BE SAVED (REFER TO SHEET C0.3 FOR TREE SCHEDULE)
 - (X) EXISTING TREE TO BE REMOVED (REFER TO SHEET C0.3 FOR TREE SCHEDULE)

DEMOLITION SCHEDULE

ITEM NO.	DESCRIPTION/ACTION
D-1	EXISTING SANITARY MANHOLE (6 MANHOLES TOTAL) SEE DEMOLITION NOTE 17.
D-2	EXISTING 8" PVC SANITARY SEWER (APPROX 1,135 LF) SEE DEMOLITION NOTE 17.
D-3	EXISTING 8" PVC WATER MAIN (APPROX 1,300 LF) SEE DEMOLITION NOTE 19.
D-4	EXISTING 6" PVC RECLAIM WATER MAIN (APPROX 1,300 LF) SEE DEMOLITION NOTE 19.
D-5	EXISTING TYPE "E" W/LET TO BE REMOVED.
D-6	EXISTING 14"x22" ERCP TO BE REMOVED AND REPLACED.
D-7	EXISTING 24" RCP & MANHOLE TO BE REMOVED.
D-8	EXISTING STORM SEWER STRUCTURE. SEE DEMOLITION NOTE 18.
D-9	EXISTING STORM SEWER RCP. SEE DEMOLITION NOTE 18.
D-10	EXISTING STORM SEWER STRUCTURE (NOT FOUND). SEE DEMOLITION NOTE 18.
D-11	EXISTING TYPE "C" W/LET TO REMAIN.
D-12	EXISTING CONC CURB & GUTTER TO BE REMOVED (APPROX 55 LF)
D-13	EXISTING CHAIN LINKED FENCE TO BE REMOVED (APPROX 190 LF)
D-14	EXISTING CONC CURB & GUTTER TO BE REMOVED (APPROX 220 LF)
D-15	EXISTING FEICE TO BE REMOVED (APPROX 55 LF)

DEMOLITION NOTES:

1. CHAPTER 55.351 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
2. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
3. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED. A BRIEF DESCRIPTION OF THE STRUCTURES IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY.
4. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS, AND OTHER EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR. REMOVE NO STRUCTURE SUBSTANTIALLY AS A WHOLE; DEMOLISH COMPLETELY ON THE PREMISES.
5. ELECTRICAL, TELEPHONE, CABLE, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS A NECESSITY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
6. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS, STREETS AND SIDEWALKS SHALL NOT BE UNNECESSARILY BLOCKED BY DEBRIS AND EQUIPMENT.
7. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING DEMOLITION/EXCAVATION PROCESS.
8. DISPOSAL
 - A. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS, COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
9. PAVEMENT REMOVAL
 - A. WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACE LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACINGS. IF CONSTRUCTION RESULTS IN RAVELING OF THE SAW-CUT SURFACE, RE-CUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
 - B. WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY OR VALLEY CUTTER IS REMOVED FOR THE PURPOSE OF CONSTRUCTING OR REMOVING BOX CULVERTS, PIPES, INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES SAID PAVEMENT, ETC. SHALL BE REPLACED AND RESTORED IN EQUAL OR BETTER CONDITION THAN THE ORIGINAL.
10. PERMITTING: IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITTING FOR DEMOLITION FROM THE RELEVANT AGENCIES AND FULLY ACKNOWLEDGE AND COMPLY WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.
11. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION REQUIRED IN ORDER TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL OF THE INFORMATION WITHIN THESE DOCUMENTS. ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
12. PRIOR TO DEMOLITION WORK OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
13. CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AND SHOWN ON THIS SHEET. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
14. IF THE EXISTING STORM AND SANITARY SEWER MANHOLES HAVE EXISTING PIPES REMOVE ALL BE PLUGGED WITH BRICK, MORTAR AND CONCRETE. EXISTING PIPE IS REPLACED WITH A PROPOSED PIPE. ALL TO RECEIVE PROPOSED
15. ANY BURIED UTILITIES ARE TO BE ABANDONED IN PLACE SHOULD BE GROUT FIELLED.
16. EXCAVATIONS RESULTING FROM THE REMOVAL OF BURIED ELEMENTS SHOULD BE BACKFILLED WITH CLEAN, COMPACTED, ENGINEERED FILL.
17. SANITARY SEWER SYSTEM REMOVAL
 - A. OPTION "A" - CONTRACTOR SHALL REMOVE ALL SANITARY MANHOLES AND PIPES WITHIN THE PROJECT LIMITS.
 - B. OPTION "B" - EXISTING GRAVITY SEWER SYSTEMS SHALL BE CLEARED AND FLUSHED, AND SHALL BE TESTED FOR ALIGNMENT, DEFLECTION, AND INTEGRITY, IN ACCORDANCE TO SECTION 44 OF THE CITY OF APOPKA UTILITIES DESIGN AND CONSTRUCTION MANUAL. EXISTING CONDITION SURVEY SHALL BE PROVIDED TO THE ENGINEER OF RECORD, AND THE CITY OF APOPKA FOR REVIEW AND APPROVAL. ALL TESTING, PROCEDURES, AND VIDEO INSPECTIONS SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF CITY INSPECTION PERSONNEL AND CERTIFIED BY THE DEVELOPER'S ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL NECESSARY LABOR AND EQUIPMENT FOR ALL SUCH TESTING AND INSPECTIONS. SANITARY MANHOLES SHALL BE LINED PER CITY OF APOPKA REQUIREMENTS.
18. STORM SEWER SYSTEM REMOVAL
 - A. OPTION "A" - CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING STORM SEWER STRUCTURES AND PIPES WITHIN THE PROJECT LIMITS.
 - B. OPTION "B" - EXISTING STORM SEWER SYSTEMS SHALL BE CLEARED AND FLUSHED, AND SHALL BE TESTED FOR ALIGNMENT, DEFLECTION, AND INTEGRITY.
19. WATER, AND RECLAIM WATER MAIN REMOVAL
 - A. ALL EXISTING WATER, AND RECLAIM WATER MAIN PIPES, FITTING AND APPURTENANCES LOCATED WITHIN THE PROPERTY LIMITS SHALL BE REMOVED AND REPLACED.
 - B. EXISTING PIPES, FITTING AND APPURTENANCES ARE SHOWN IN THEIR APPROXIMATE LOCATION. CONTRACTOR SHALL FIELD VERIFY AND CONFIRM QUANTITY AND LOCATION.



MATCHLINE (SEE BELOW)

MATCHLINE (SEE ABOVE)

ENGINEER
EDUARDO GARCIALUNA, P.E.
FL LIC #7882

DATE: JUN. 01, 2018

RECORD DRAWING
THIS RECORD DRAWING IS A REVISION OF THE ORIGINAL DRAWING. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

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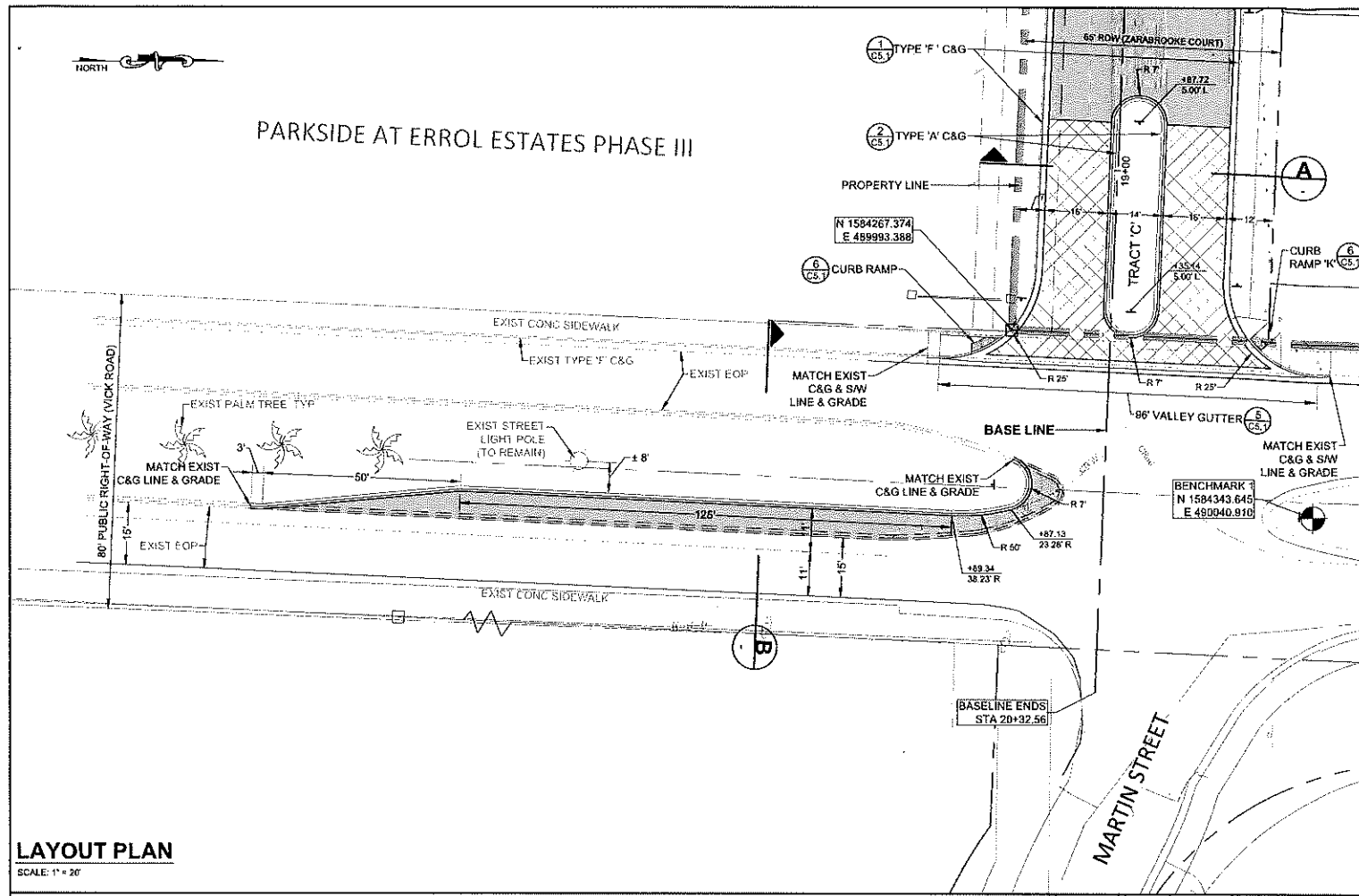
ZARABROOKE
AT
VICK & W. MARTIN STREET
APOPKA, FLORIDA

DEMOLITION PLAN

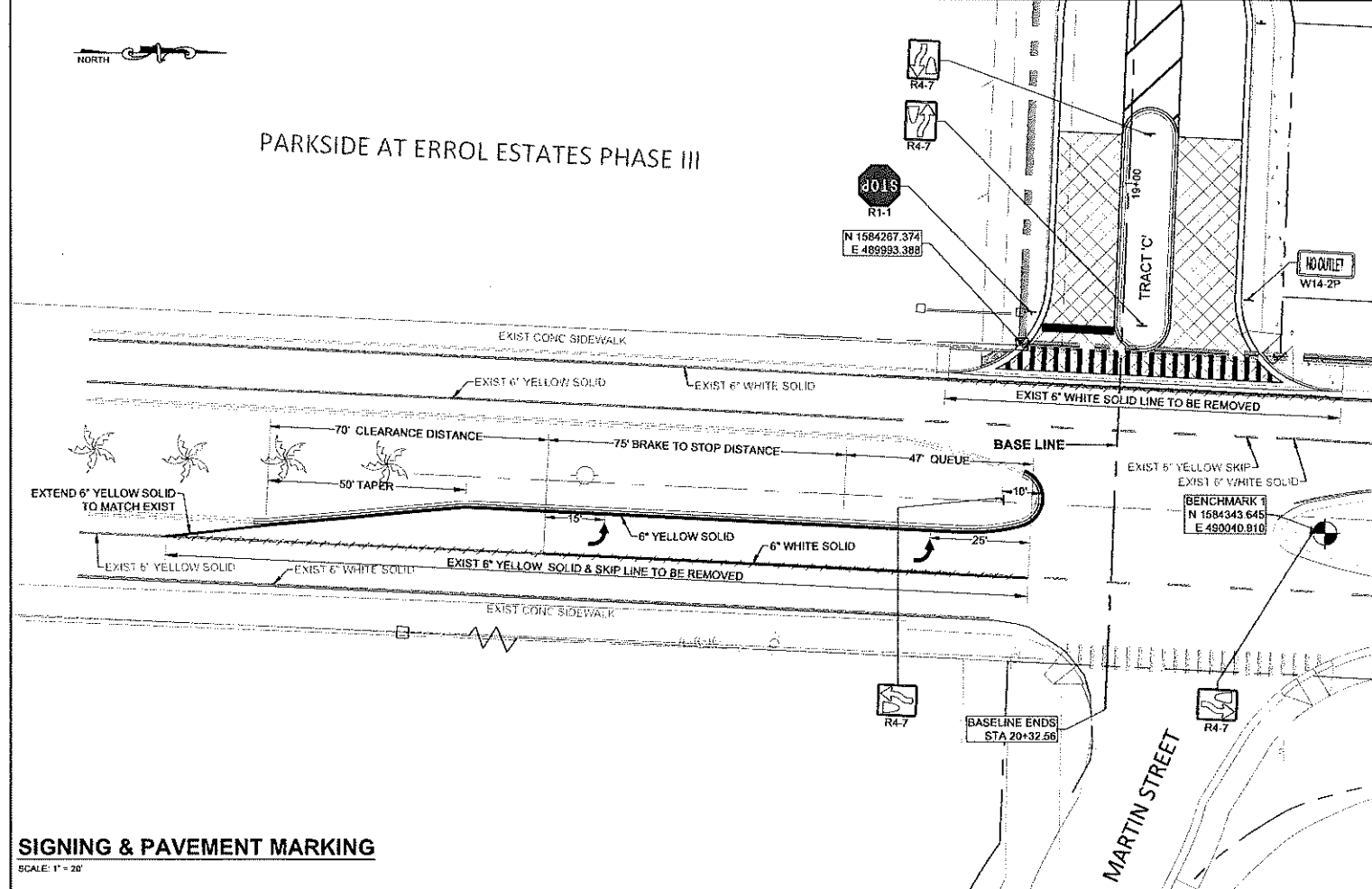
201 SOUTH RUBY AVENUE | DELAND, FL 32020
PH: (407) 986.1517 | FAX: (407) 986.1517
WWW.LOCHRANE.COM

LOCHRANE
Consulting Engineers - Surveyors
An NVIS Company

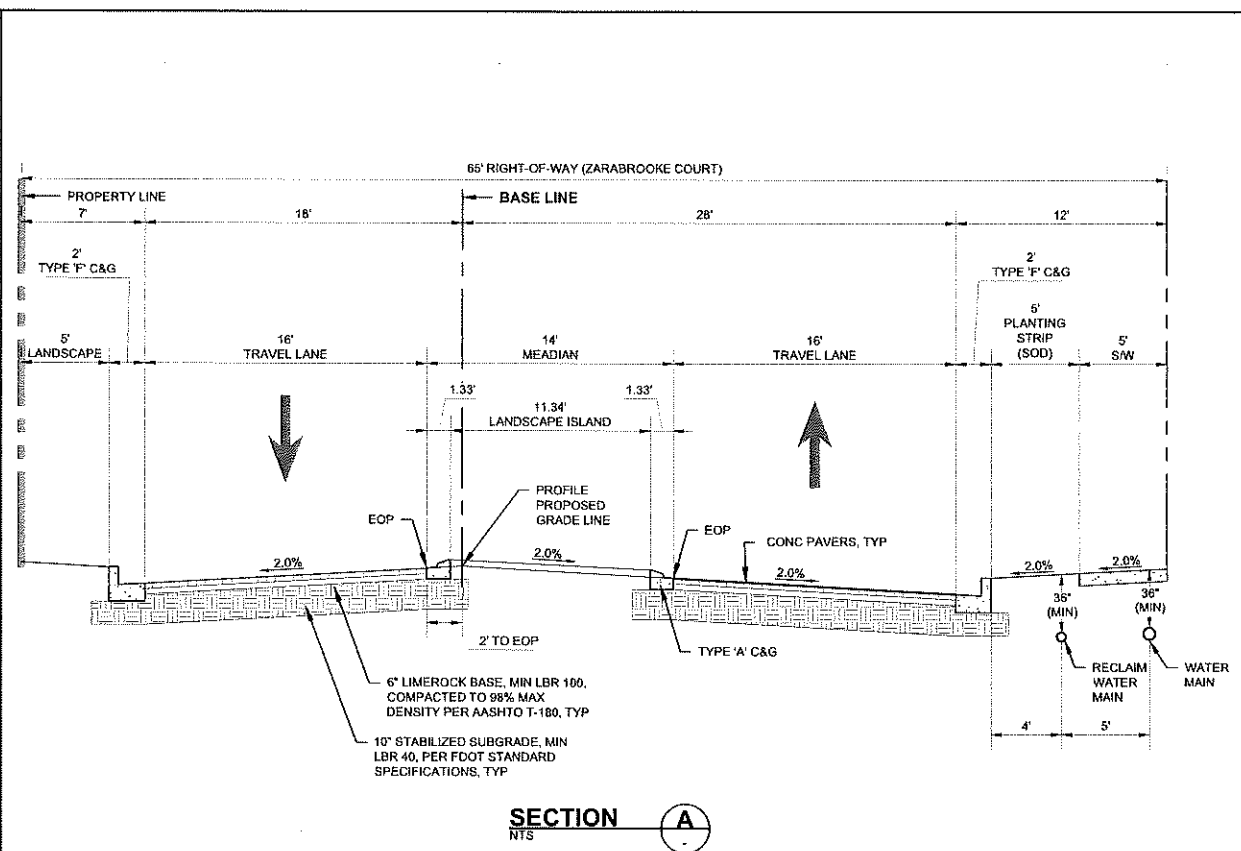
DRAWING NO. C0.5 SHEET 6 OF 22



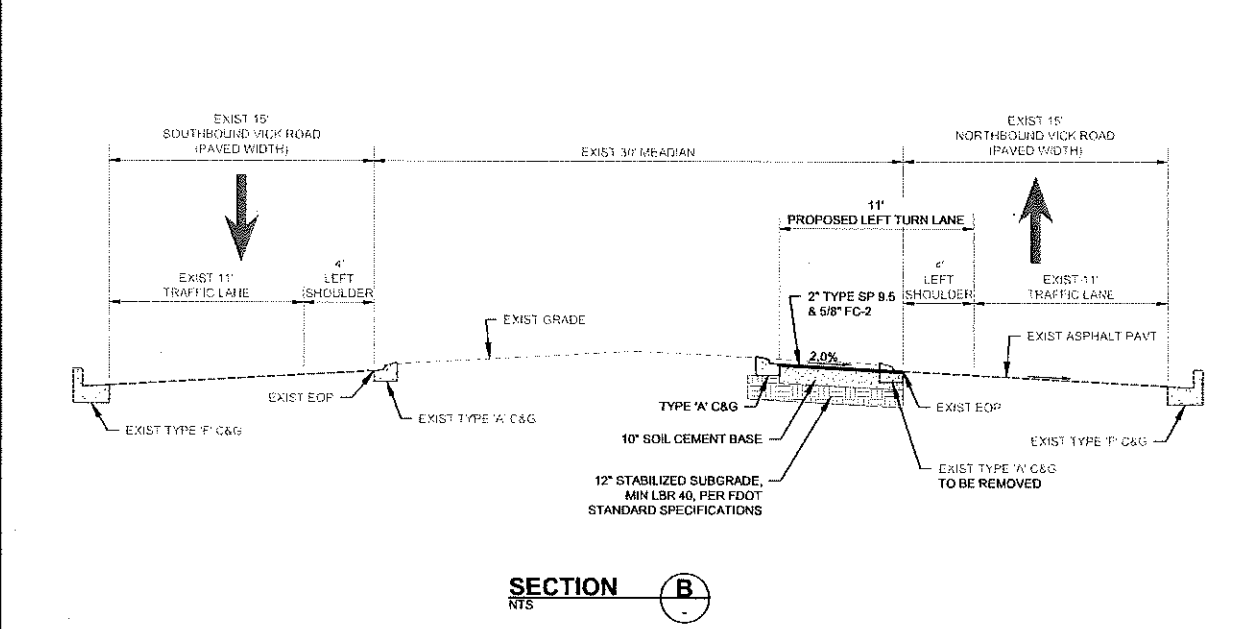
LAYOUT PLAN
SCALE: 1" = 20'



SIGNING & PAVEMENT MARKING
SCALE: 1" = 20'



SECTION A
NTS

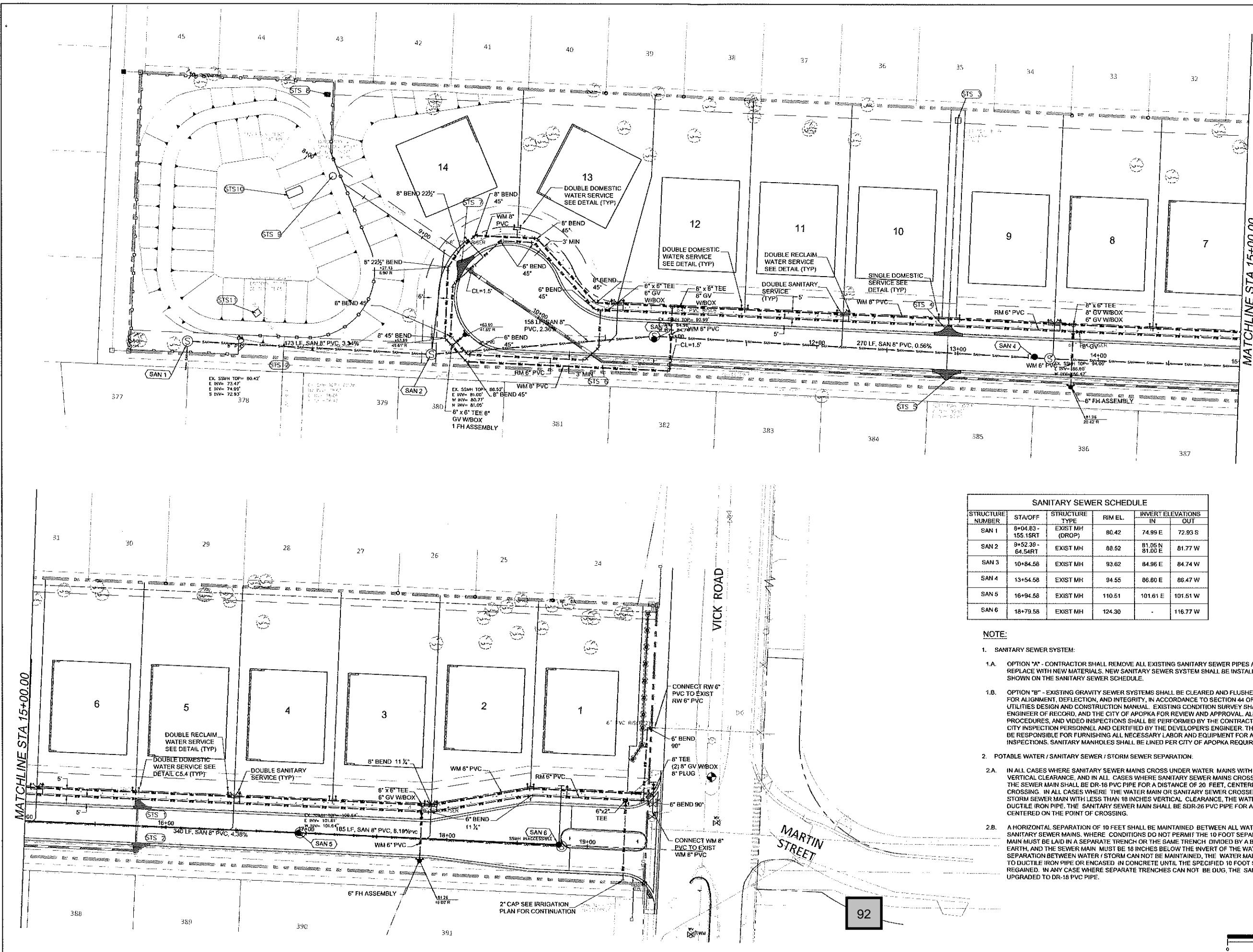


SECTION B
NTS

NOTES:

- THE LEFT TURN LANE IMPROVEMENTS ON VICK ROAD HAVE BEEN DESIGNED PER FDOT 2017 DESIGN STANDARDS:
 - INDEX NO. 300 FOR CURB AND GUTTER
 - INDEX NO. 301 FOR TURN LANE
 - INDEX NO. 17346 FOR PAVEMENT MARKINGS
- CONTRACTOR SHALL PROVIDE MAINTENANCE OF TRAFFIC (MOT) PER FDOT INDEX NO. 602.
- CONTRACTOR SHALL REPLACE ALL DISTURBED LANDSCAPING AND SOD WITHIN THE EXISTING MEDIAN.
- CONTRACTOR SHALL PRACTICE CAUTION, AND SHALL PROTECT EXISTING INFRASTRUCTURE.

JOB # 17172.20		ENGINEER	EDUARDO GARCIALUNA, P.E.	DATE: 04.24.2018	
PRJ. MGR.	EGL	DESIGNER	EGL	CHECKED	JM
RECORD DRAWING					
THIS RECORD DRAWING IS BASED ON THE PRELIMINARY RECORD DRAWING AND THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION AND CONDITIONS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AUTHORITIES.					
NO.	DATE	REVISIONS			
ZARABROOKE		VICK & W. MARTIN STREET			
		APOPKA, FLORIDA			
		ZARABROOKE, LLC			
PROJECT ENTRANCE & OFF-SITE TURN LANE IMPROVEMENTS					
201 SOUTH BUNNY AVENUE ORLANDO, FL 32803					
PH: (407) 944-5317 FAX: (407) 944-9167					
WWW.LOCHRANE.COM					
CERTIFICATE OF AUTHORIZATION # 0702918					
An IVI Company					
DRAWING NO		SHEET			
C1.1		8 OF 22			



SANITARY SEWER SCHEDULE				
STRUCTURE NUMBER	STA/OFF	STRUCTURE TYPE	RIM EL.	INVERT ELEVATIONS
SAN 1	8+04.83 - 155.15RT	EXIST MH (DROP)	80.42	74.99 E 72.93 S
SAN 2	9+52.38 - 64.54RT	EXIST MH	88.52	81.05 N 81.00 E
SAN 3	10+84.58	EXIST MH	93.62	84.96 E 84.74 W
SAN 4	13+54.58	EXIST MH	94.55	86.80 E 86.47 W
SAN 5	16+94.58	EXIST MH	110.51	101.61 E 101.51 W
SAN 6	18+79.58	EXIST MH	124.30	- 116.77 W

- NOTE:**
- SANITARY SEWER SYSTEM:**
 - OPTION "A" - CONTRACTOR SHALL REMOVE ALL EXISTING SANITARY SEWER PIPES AND MANHOLE, AND WILL REPLACE WITH NEW MATERIALS. NEW SANITARY SEWER SYSTEM SHALL BE INSTALLED PER INFORMATION SHOWN ON THE SANITARY SEWER SCHEDULE.
 - OPTION "B" - EXISTING GRAVITY SEWER SYSTEMS SHALL BE CLEARED AND FLUSHED, AND SHALL BE TESTED FOR ALIGNMENT, DEFLECTION, AND INTEGRITY, IN ACCORDANCE TO SECTION 44 OF THE CITY OF APOPKA UTILITIES DESIGN AND CONSTRUCTION MANUAL. EXISTING CONDITION SURVEY SHALL BE PROVIDED TO THE ENGINEER OF RECORD, AND THE CITY OF APOPKA FOR REVIEW AND APPROVAL. ALL TESTING, PROCEDURES, AND VIDEO INSPECTIONS SHALL BE PERFORMED BY THE CONTRACTOR IN THE PRESENCE OF CITY INSPECTION PERSONNEL AND CERTIFIED BY THE DEVELOPER'S ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL NECESSARY LABOR AND EQUIPMENT FOR ALL SUCH TESTING AND INSPECTIONS. SANITARY MANHOLES SHALL BE LINED PER CITY OF APOPKA REQUIREMENTS.
 - POTABLE WATER / SANITARY SEWER / STORM SEWER SEPARATION:**
 - IN ALL CASES WHERE SANITARY SEWER MAINS CROSS UNDER WATER MAINS WITH LESS THAN 18" OF VERTICAL CLEARANCE, AND IN ALL CASES WHERE SANITARY SEWER MAINS CROSS OVER WATER MAINS, THE SEWER MAIN SHALL BE DR-18 PVC PIPE FOR A DISTANCE OF 20 FEET, CENTERED ON THE POINT OF CROSSING. IN ALL CASES WHERE THE WATER MAIN OR SANITARY SEWER CROSSES UNDER OR OVER THE STORM SEWER MAIN WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE WATER MAIN SHALL BE DUCTILE IRON PIPE. THE SANITARY SEWER MAIN SHALL BE SDR-26 PVC PIPE FOR A DISTANCE OF 20 FEET, CENTERED ON THE POINT OF CROSSING.
 - A HORIZONTAL SEPARATION OF 10 FEET SHALL BE MAINTAINED BETWEEN ALL WATER, STORM, AND SANITARY SEWER MAINS. WHERE CONDITIONS DO NOT PERMIT THE 10 FOOT SEPARATION, THE SEWER MAIN MUST BE LAID IN A SEPARATE TRENCH OR THE SAME TRENCH DIVIDED BY A BENCH OF UNDISTURBED EARTH, AND THE SEWER MAIN MUST BE 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE SEPARATION BETWEEN WATER / STORM CAN NOT BE MAINTAINED, THE WATER MAIN MUST BE UPGRADED TO DUCTILE IRON PIPE OR ENCASED IN CONCRETE UNTIL THE SPECIFIED 10 FOOT SEPARATION IS REGAINED. IN ANY CASE WHERE SEPARATE TRENCHES CAN NOT BE DUG, THE SANITARY LINE MUST BE UPGRADED TO DR-18 PVC PIPE.

ENGINEER
EDUARDO GARCIA-LUNA, P.E.
FL LIC. 17602

RECORD DRAWING
THIS RECORD DRAWING IS BASED ON THE RECORDS OF THE CITY OF APOPKA, FLORIDA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE RECORDS AND FOR CORRECTING ANY ERRORS OR OMISSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF APOPKA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF APOPKA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF APOPKA.

REVISIONS

NO.	DATE	REVISIONS
1	10/26/17	CITY OF APOPKA REVISIONS
2	10/24/17	CITY OF APOPKA REVISIONS
3	10/24/17	CITY OF APOPKA REVISIONS

ENGINEER: FL LIC. 7

ZARABROOKE
VICK & W. MARTIN STREET
APOPKA, FLORIDA
ZARABROOKE, LLC

UTILITY PLAN

LOCHRANE
Consulting Engineers - Surveyors
An NCS Company

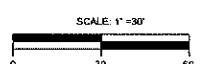
201 SOUTH BUNBY AVENUE | ORLANDO, FL 32803
PH: (407) 595-3317 | FAX: (407) 595-9887
WWW.LOCHRANE.COM

CERTIFICATE OF AUTHORIZATION # 0000004

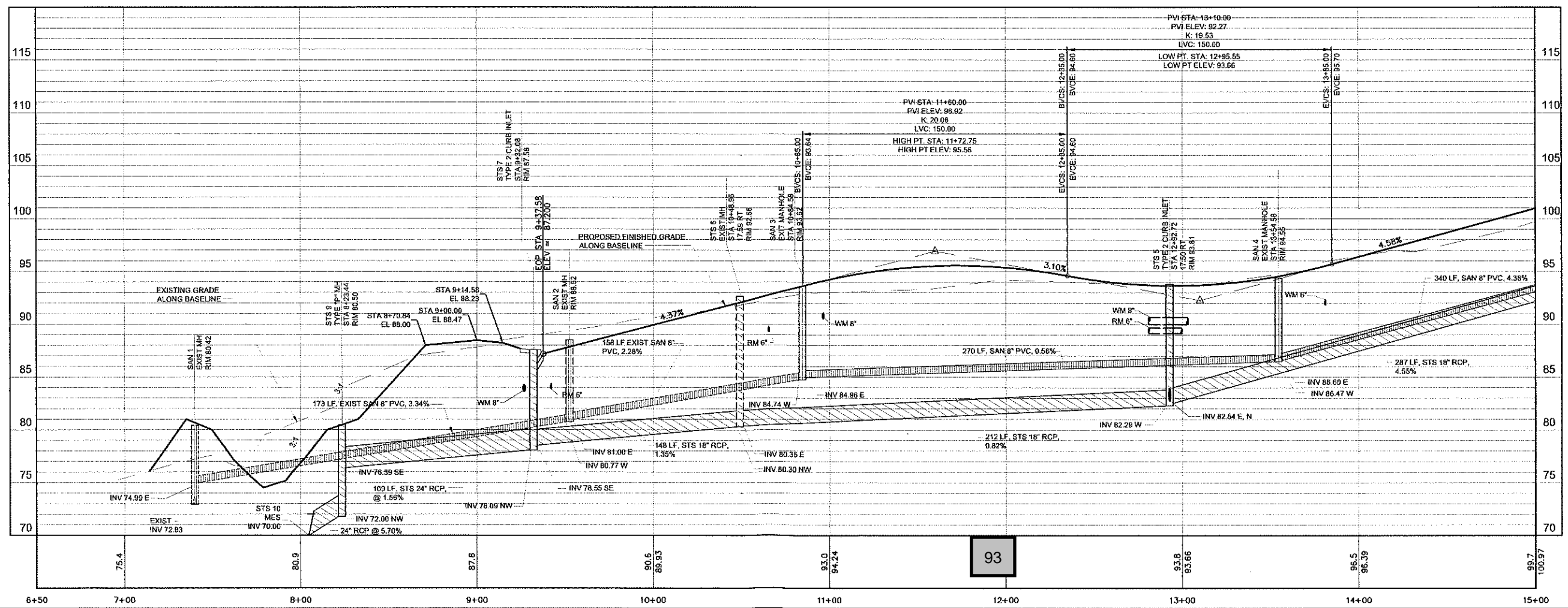
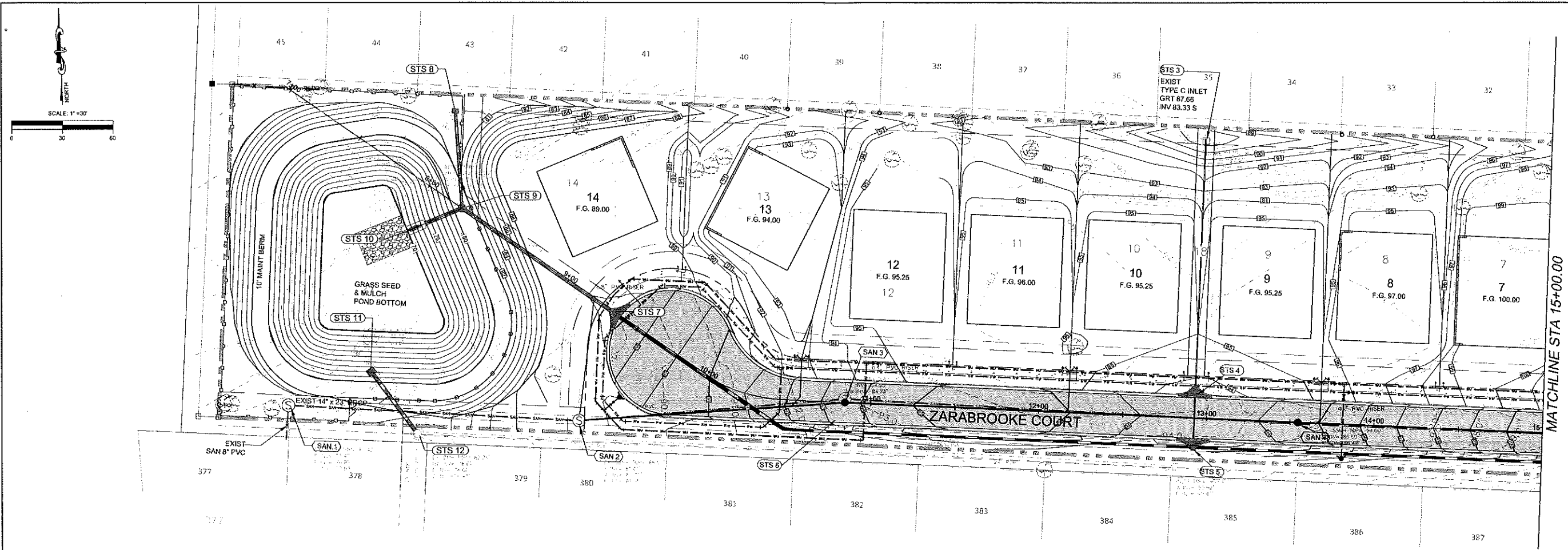
DRAWING NO. C3.0 SHEET 11 OF 22

DATE: JUN 29, 2018

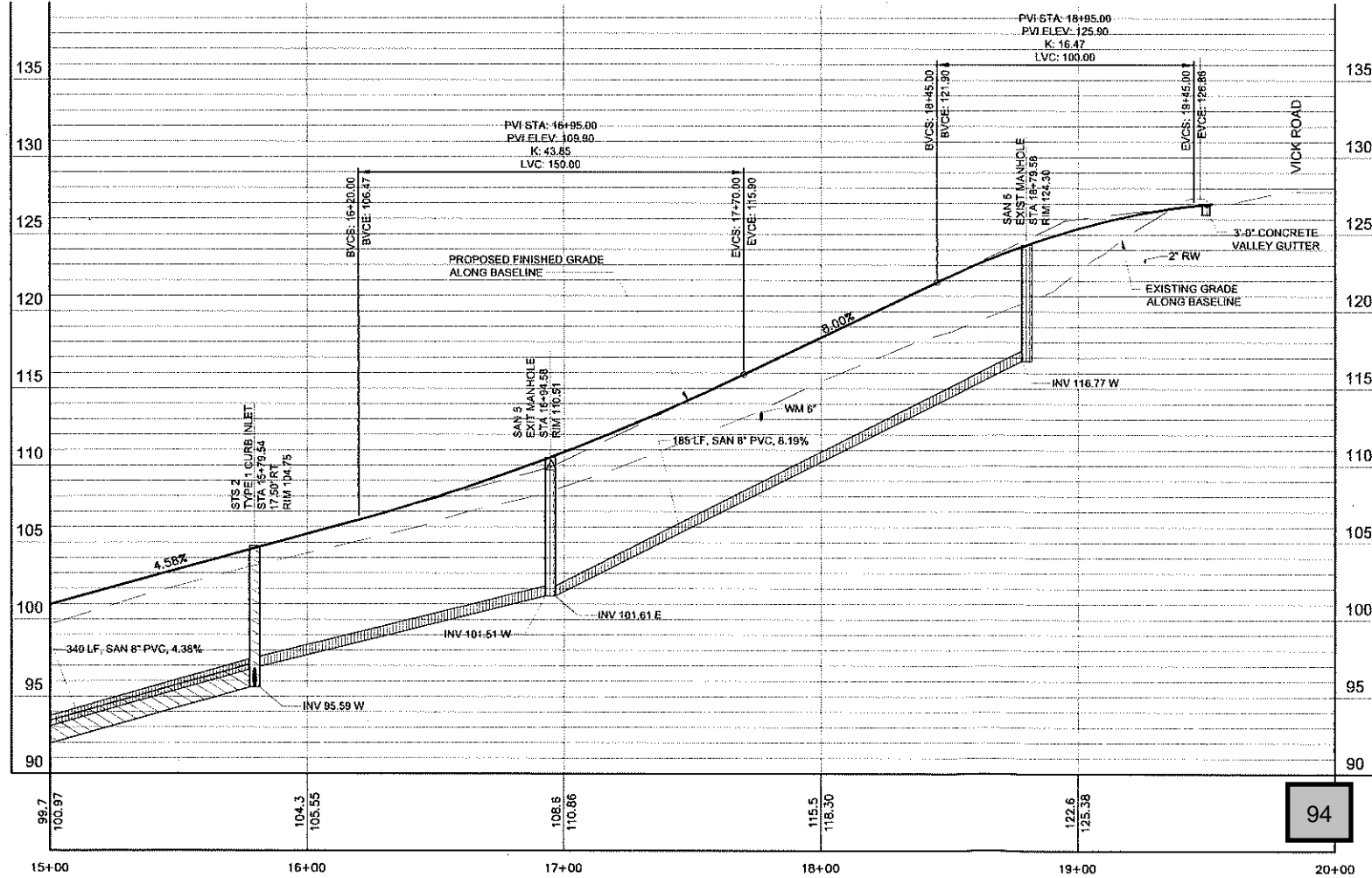
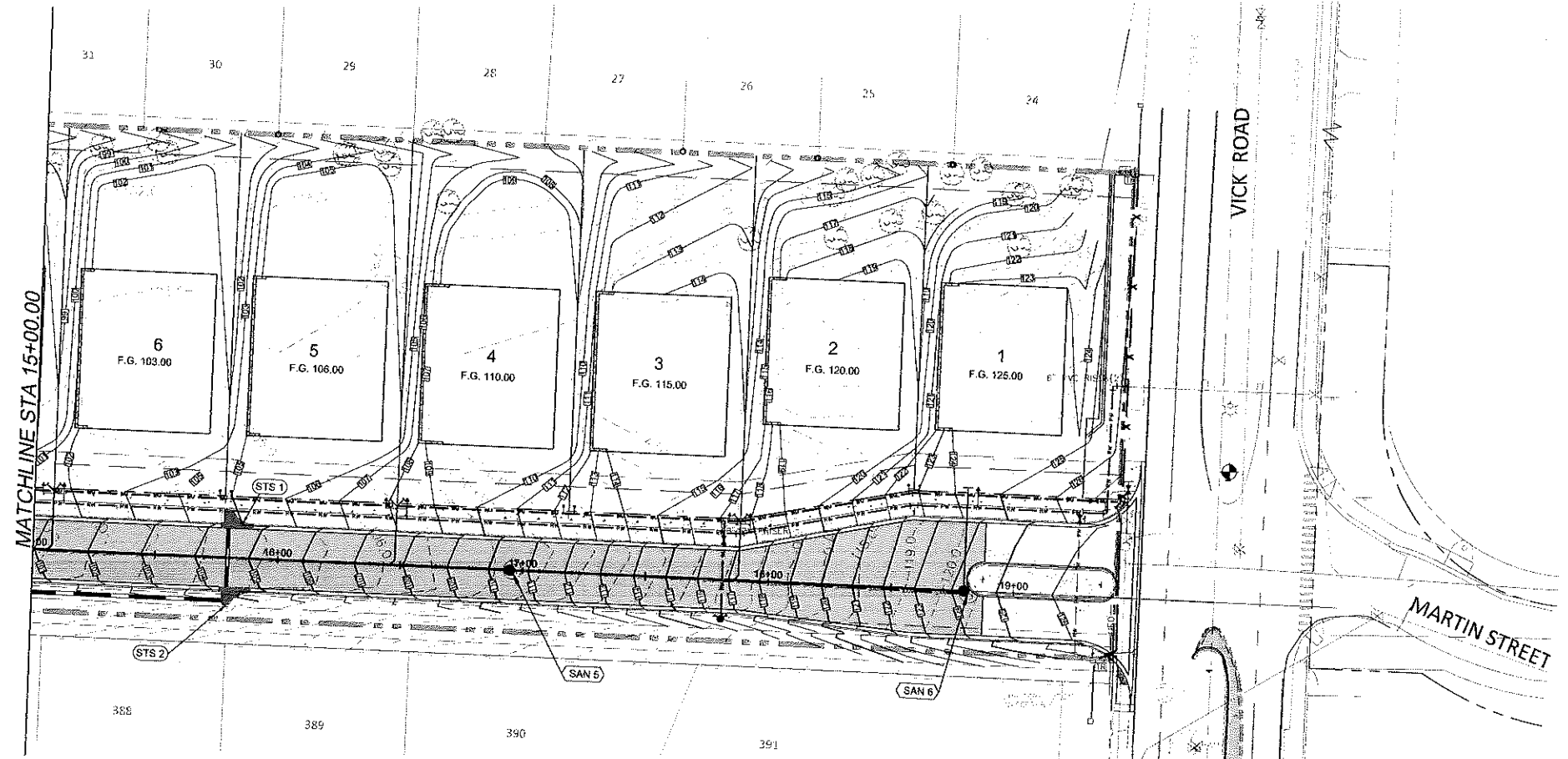
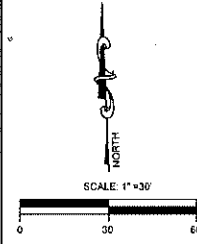
JOB #: 17012.20
PLN. MGR.: ECL
DESIGNER: BGL
CHECKED: JHT



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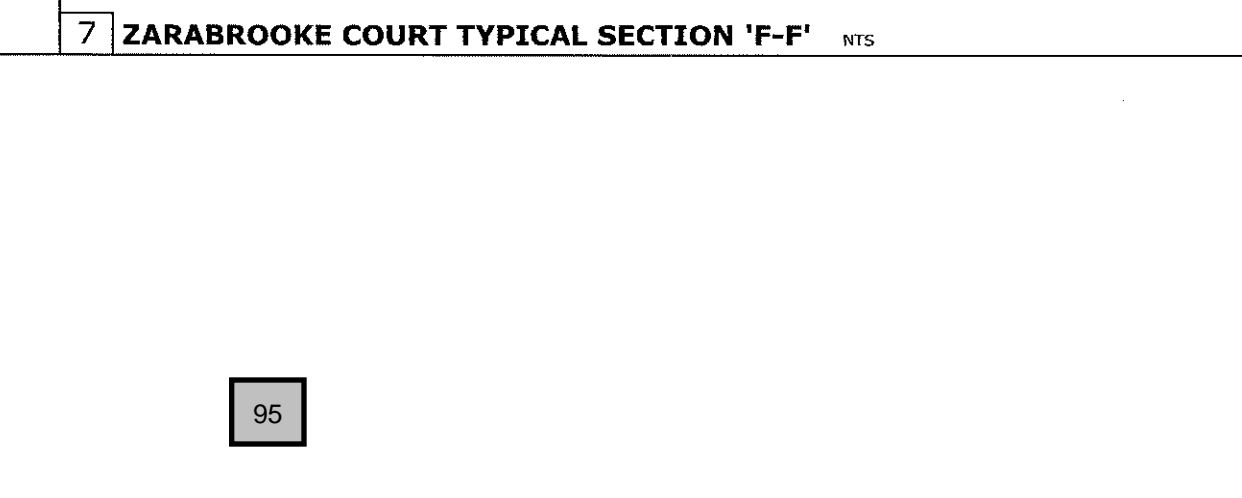
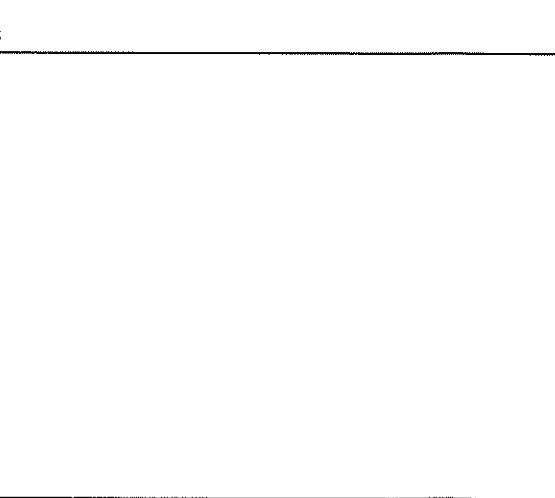
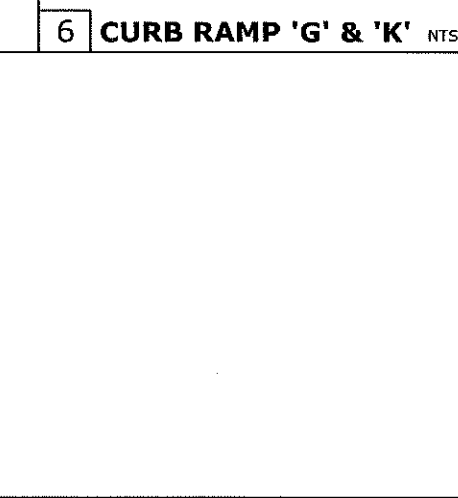
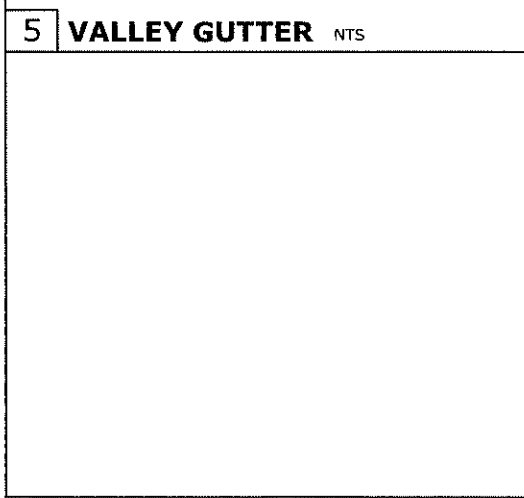
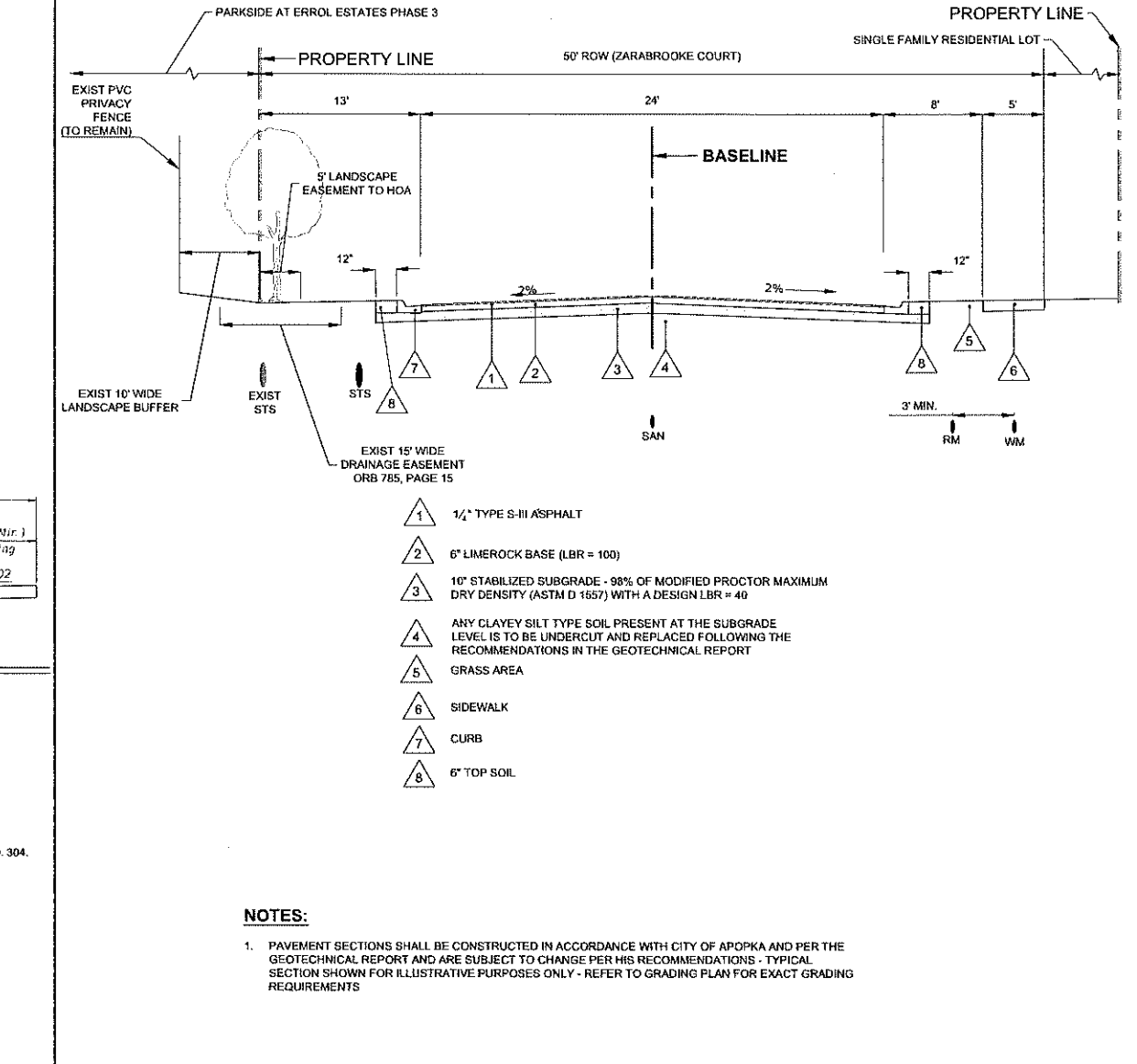
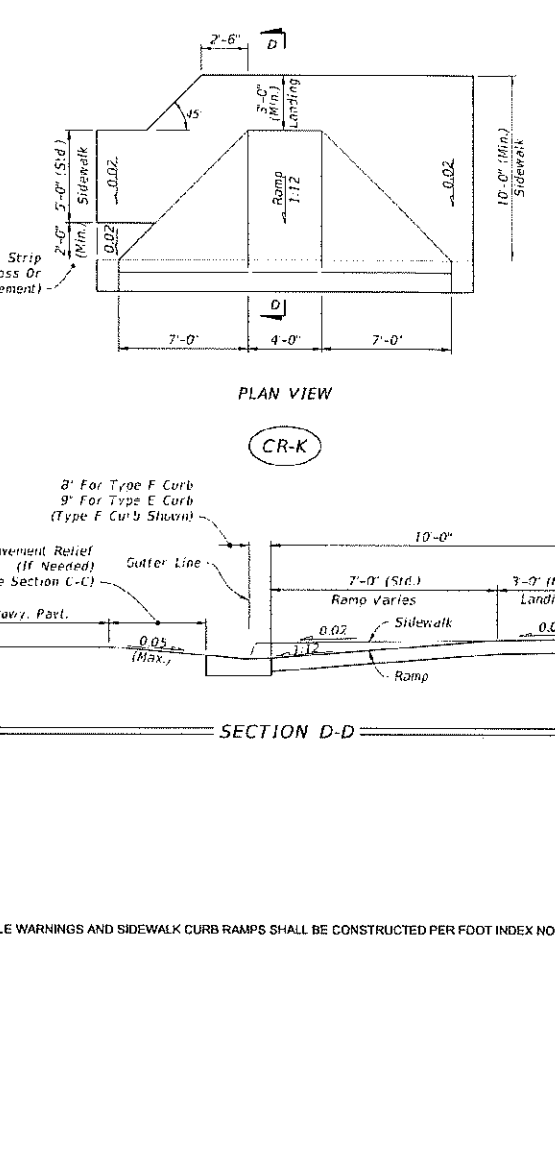
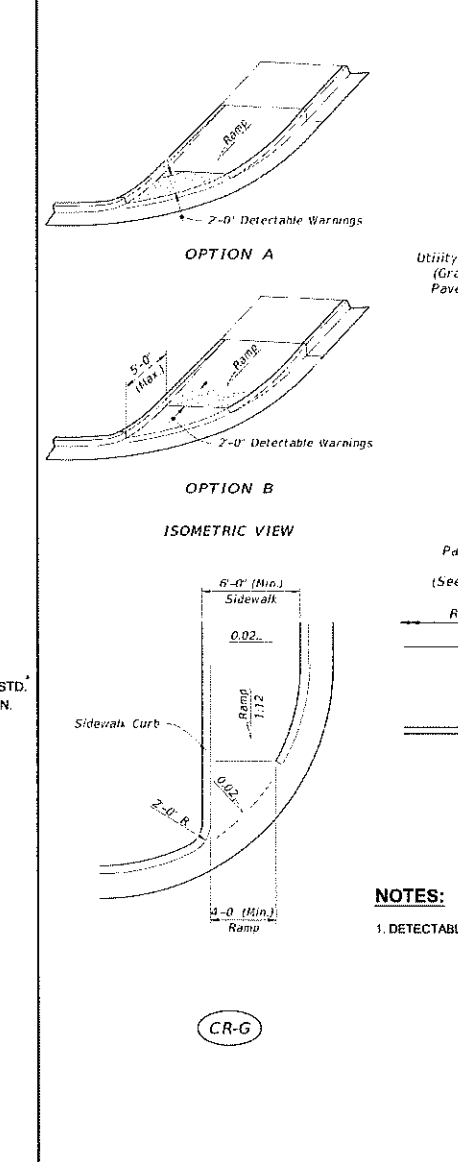
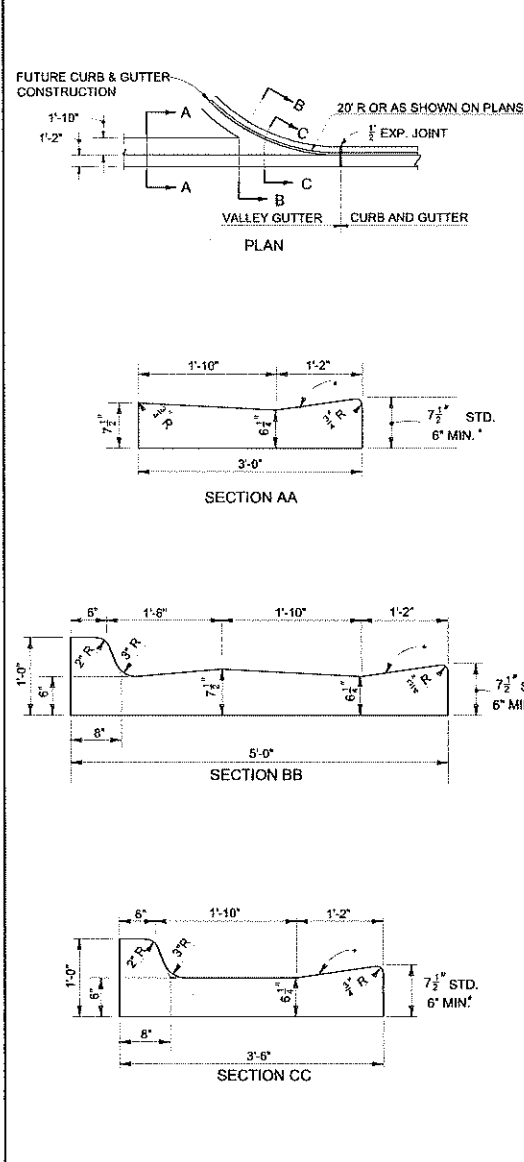
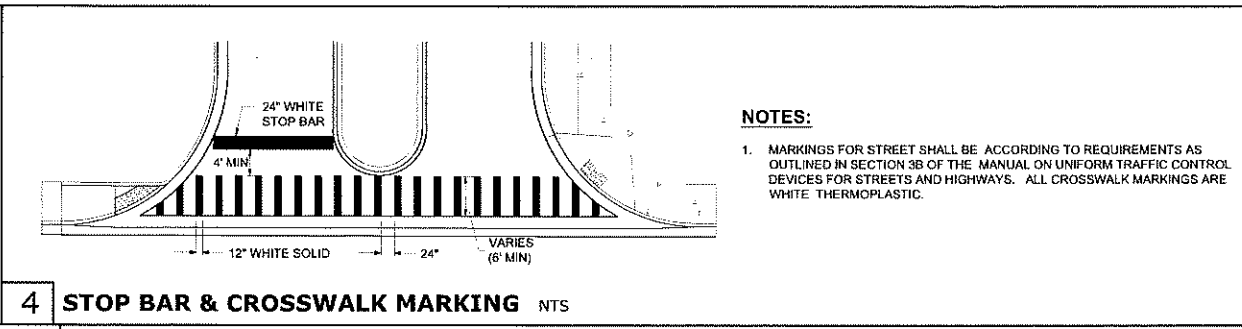
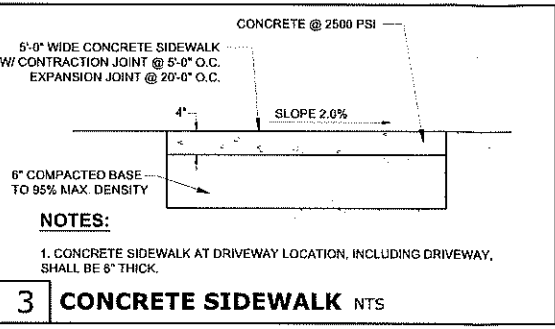
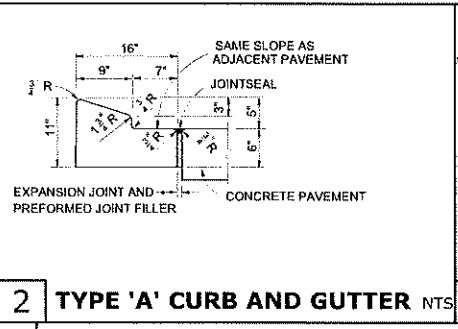
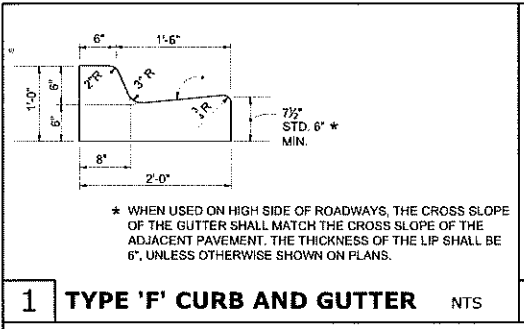


ENGINEER EDUARDO GARCIALUNA, P.E. FL. LIC. #18888		JOB # 1701230 PROJ. MGR. EOL DESIGNER EOL CHECKED JM DATE: JUN 04, 2018
RECORD DRAWING <small>THIS RECORD DRAWING IS BASED ON THE ORIGINAL DRAWING AND ALL REVISIONS. IT IS THE RESPONSIBILITY OF THE USER TO VERIFY THE ACCURACY OF THE INFORMATION SHOWN HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION TO COMPLETE THE PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION TO COMPLETE THE PROJECT.</small>		01/08/17 CITY OF APOPKA REVISIONS 10/26/17 CITY OF APOPKA REVISIONS 10/24/17 SURVIVOR REVISIONS
ZARABROOKE VICK & W. MARTIN STREET APOPKA, FLORIDA		ENGINEER: FL. LIC. #
ZARABROOKE, LLC		REVISIONS NO. DATE
LOCHRANE Consulting Engineers - Surveyors An NWS Company		281 SOUTH DUNBAR AVENUE DELAND, FL 32720 PH: (407) 295-3317 FAX: (407) 295-9197 WWW.LOCHRANE.COM CERTIFICATE OF AUTHORIZATION # 00002858
DRAWING NO. C4.1	SHEET 12 OF 22	



94

<p>LOCHRANE Consulting Engineers - Surveyors An WVJ Company</p>		<p>201 SOUTH BUNBY AVENUE DELAND, FL 32803 PH: (407) 986-2027 FAX: (407) 986-4167 www.lochrane.com CERTIFICATE OF AUTHORIZATION # 00000004</p>	
<p>PLAN & PROFILE</p>		<p>ZARABROOKE VICK & W. MARTIN STREET APOPKA, FLORIDA ZARABROOKE, LLC</p>	
<p>RECORD DRAWING</p> <p><small>THIS RECORD DRAWING IS BASED ON THE DATA PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ENGINEER. THE ENGINEER HAS CONDUCTED A VISUAL GENERAL REVIEW OF THE DRAWING FOR CONFORMANCE WITH THE REQUIREMENTS OF THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY TO VERIFY THE DATA PROVIDED BY THE CLIENT. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY TO VERIFY THE DATA PROVIDED BY THE CLIENT. THE ENGINEER HAS NOT CONDUCTED A FIELD SURVEY TO VERIFY THE DATA PROVIDED BY THE CLIENT.</small></p>		<p>ENGINEER: EDUARDO GARCIALUNA, P.E., F.L.C. 17526</p> <p>DATE: JAN. 04, 2016</p>	
<p>JOB #: 1712.20</p> <p>PRJ. MGR: EGI</p> <p>DESIGNER: EGI</p> <p>CHECKED: JM</p>		<p>NO. DATE REVISIONS</p> <p>10/28/17 CITY OF APOPKA REVISIONS</p> <p>10/24/17 CITY OF APOPKA REVISIONS</p> <p>10/24/17 E/R/W/D REVISIONS</p>	
<p>DRAWING NO: C4.2</p>	<p>SHEET 13 OF 22</p>	<p>DATE: JAN. 04, 2016</p>	



JOB # 17112.20
 ENGINEER EDUARDO GARCIA-LUNA, P.E.
 FL LIC. #18386
 P.L.L. M.C.R. E.C.L.
 DESIGNER E.C.L.
 CHECKED J.M.
 DATE: JAN. 04, 2018

RECORD DRAWING
 THIS RECORD DRAWING IS BASED ON THE RESULTS OF FIELD SURVEYING AND CONSTRUCTION OF THE PROJECT. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE RECORD DRAWING. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE RECORD DRAWING. THE ENGINEER HAS CONDUCTED A VISUAL INSPECTION OF THE PROJECT AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE RECORD DRAWING.

ENGINEER E.C.L.

REVISIONS
 NO. DATE REVISIONS

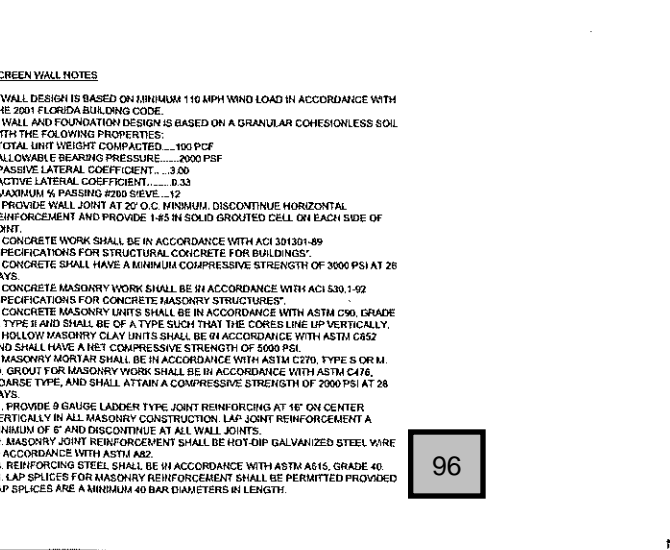
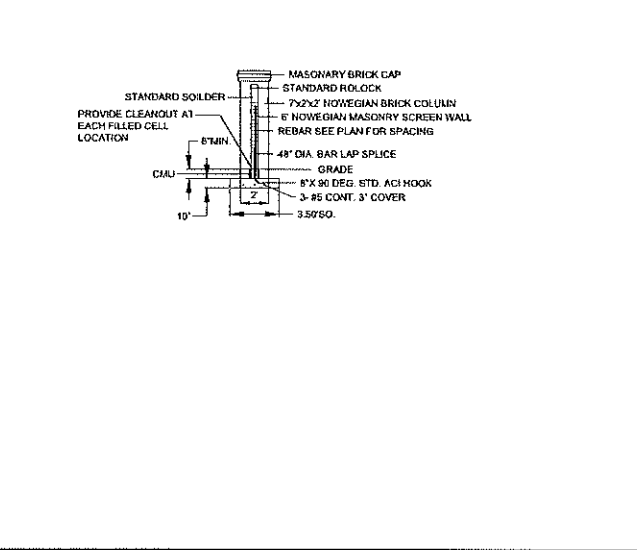
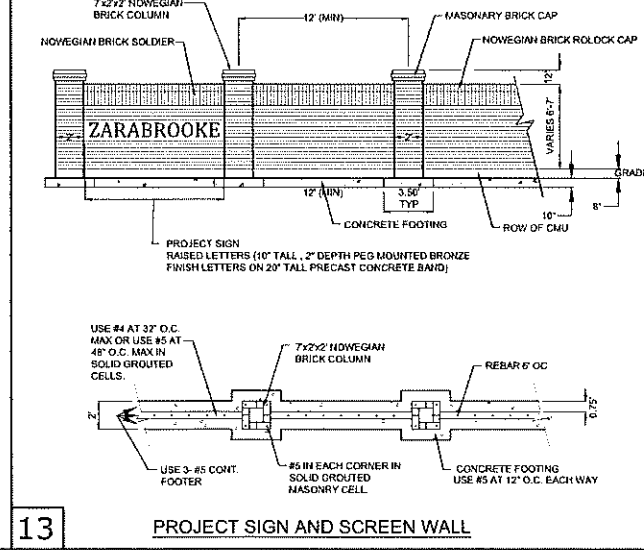
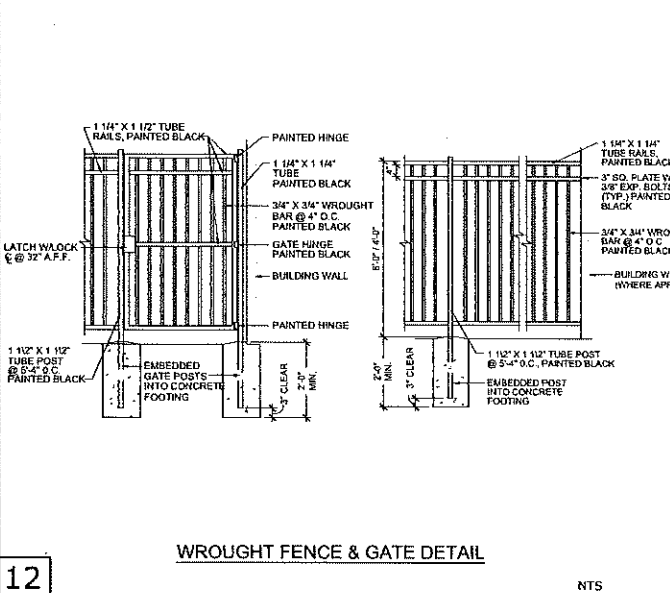
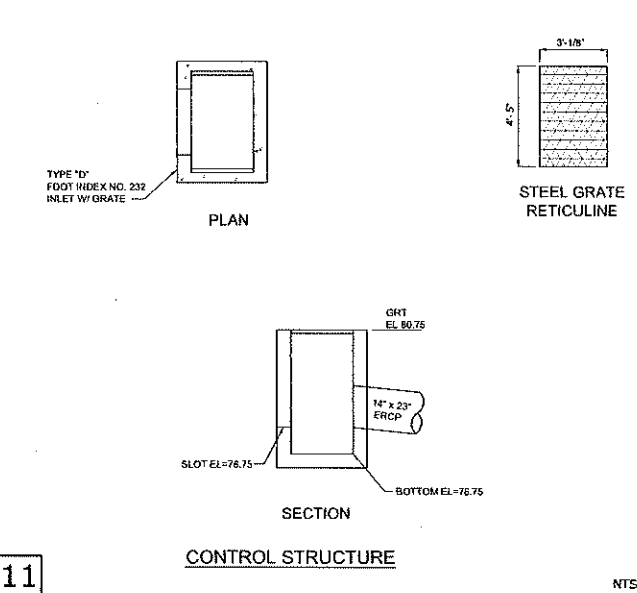
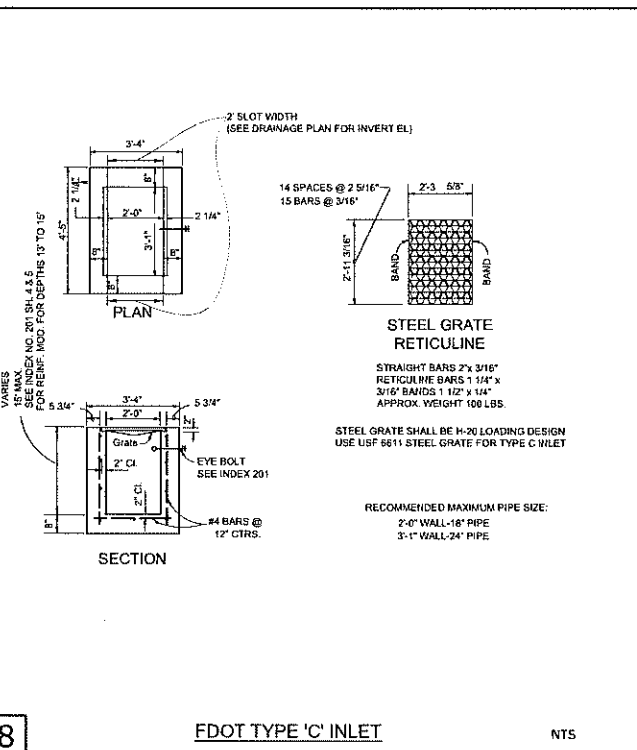
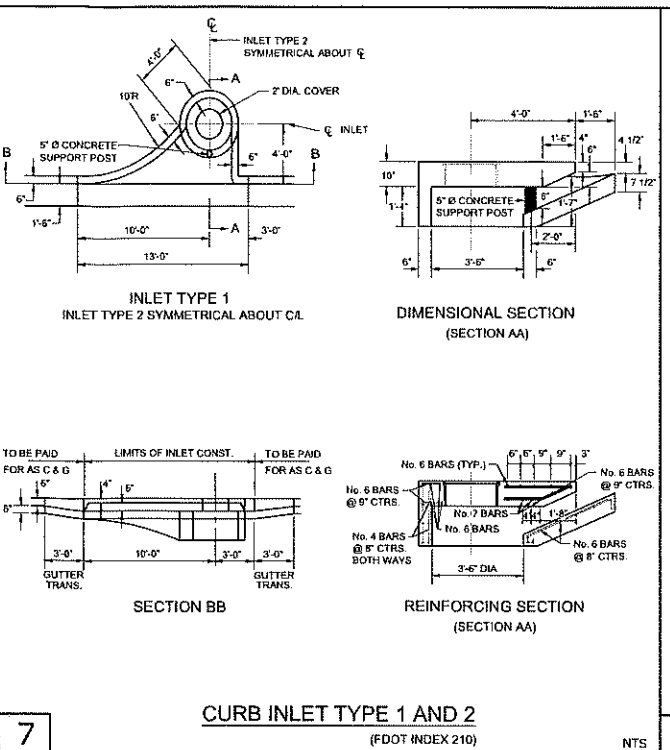
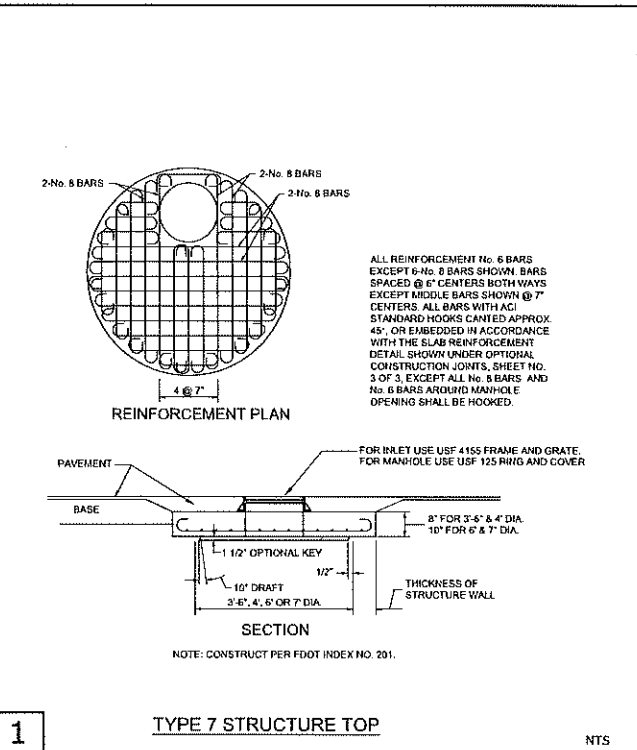
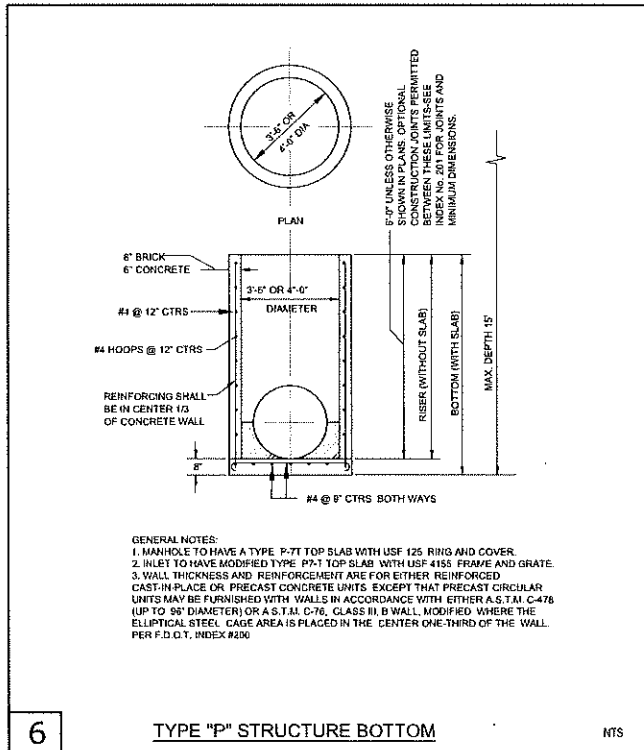
ZARABROOKE
 VICK & W. MARTIN STREET
 APOPKA, FLORIDA
 FOR
 ZARABROOKE, LLC

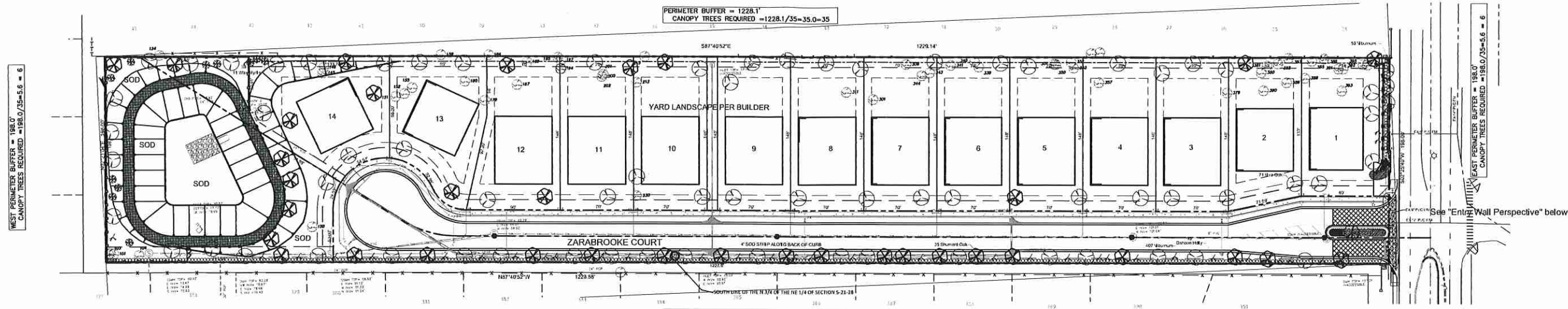
PAVEMENT
 DETAILS

281 SOUTH BURNETT AVENUE | DELAND, FL 32835
 PH: (407) 598-3377 | FAX: (407) 565-9887
 WWW.LOCHRANE.COM
 CERTIFICATE OF AUTHORIZATION # 00000000

LOCHRANE
 Consulting Engineers - Surveyors
 An WJ5 Company

DRAWING NO. C5.1
 SHEET 14 OF 22
 DATE: JAN. 04, 2018





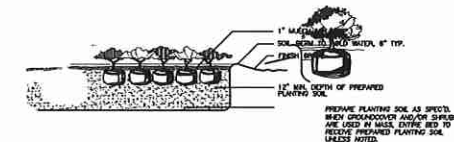
GENERAL NOTES

- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND LOCATION OF PROPOSED IMPROVEMENTS PRIOR TO INITIATING ANY CONSTRUCTION.
- LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS PRIOR TO INITIATING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY DAMAGE TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
- THE OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATIONS, TO REJECT ANY AND ALL WORK AND MATERIAL WHICH, IN HIS OPINION, DO NOT MEET WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS.
- ALL GRADES, DIMENSIONS, AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR ON-SITE BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
- THE CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN CONSENT OF THE OWNER'S REPRESENTATIVE. DURING THE COURSE OF THIS WORK, EXCESS WASTE MATERIAL SHALL BE REMOVED DAILY FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF WORK WITH OTHER TRADES AND THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HRS MINIMUM PRIOR TO DIGGING FOR FIELD VERIFICATION OF ALL UNDERGROUND UTILITIES.
- ALL EXISTING SITE ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS, AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.

LANDSCAPE NOTES

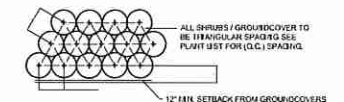
- THE CONTRACTOR SHALL REVIEW ARCHITECTURE/ENGINEERING PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK.
- PRIOR TO PLANTING/INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF TREE MATERIAL AND SPECIMEN PLANT MATERIAL TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE.
- THE CONTRACTOR SHALL TEST THE PROJECT SOILS TO VERIFY THAT THE SOILS ON-SITE ARE ACCEPTABLE FOR PROPER GROWTH OF PLANT MATERIALS AND ADEQUATE DRAINAGE IN PLANT BEDS AND PLANTERS. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND PROCUREMENT OF EXISTING ON-SITE SOIL SAMPLES WITH THE OWNER'S REPRESENTATIVE. REPRESENTATIVE SAMPLES SHALL BE SUBMITTED TO A CERTIFIED TESTING LABORATORY FOR ANALYSIS. THE FINDINGS, TOGETHER WITH RECOMMENDATIONS FOR AMENDING THE SOILS SHALL BE REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND PRIOR TO DELIVERY AND INSTALLATION OF PLANT MATERIALS AT THE JOB.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE OWNER'S REPRESENTATIVE.
- PEG SOO ON SLOPES GREATER THAN 2:1.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK.
- CONTRACTOR SHALL FIELD-ADJUST LOCATION OF PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE GRADES FOR NURSERY PLANTS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 1" LAYER OF MULCH AS SPECIFIED. ALL TREES SHALL HAVE NO MORE THAN 1" THICK, 24" RADIUS (FROM THE TRUNK) MULCH RING PLACED ON TOP OF THE ROOT BALL.
- SHRUBS AND GROUND COVER BED QUANTITIES ARE INDICATED ON THE PLANT LIST. PLANT ACCENT SHRUBS AND TREES AS SHOWN ON THE LANDSCAPE PLANTING PLANS WHEN INDIVIDUAL PLANTS ARE DELINEATED.
- PALM HEIGHTS, IF INDICATED ON THE PLANS, REFER TO CLEAR TRUNK (C.T.), GRAY WOOD (G.W.), OR OVERALL HEIGHT (O.A.) AS SPECIFIED ON THE PLANT LIST.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING IRRIGATION.
- CONTRACTOR SHALL REGRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE DATE OF SUBSTANTIAL COMPLETION. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENTS OF BUCK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.

- UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR SUBSTANTIAL COMPLETION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE OF SURVIVABILITY OF ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR MUST APPROVE ALL GRADED AREAS PRIOR TO THE COMMENCEMENT OF PLANTING.
- THE CONTRACTOR SHALL ENGAGE A QUALIFIED ARBORIST WHO HAS SUCCESSFULLY COMPLETED TREE PROTECTION AND TREE TRIMMING WITH FIVE YEARS OR MORE EXPERIENCE, TO PERFORM THE FOLLOWING WORK:
 - CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN AS SHOWN ON DRAWINGS OR BY MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
 - CONTRACTOR TO CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
 - PERFORM ANNUAL PRUNING OF BRANCHES AND STIMULATION OF ROOT GROWTH WHERE REMOVED TO ACCOMMODATE NEW CONSTRUCTION.
 - PERFORM TREE REPAIR WORK FOR DAMAGE INCURRED BY NEW CONSTRUCTION.
 - CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUANTITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
 - IF TREES ARE RELOCATED, CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION SYSTEM.



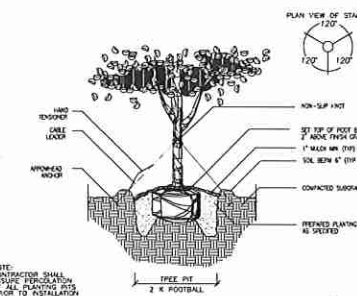
NOTE: CONTRACTOR SHALL ASSURE PROTECTION OF ALL PLANTING RITS / BEDS PRIOR TO INSTALLATION

SHRUB AND GROUND COVER DETAIL
SCALE: N.T.S.



NOTE: THE CENTER OF ALL CURVED PLANTING BEDS SHALL BE PLANTED WITH ONE SHRUB AT EACH 12" SPACING POINT IN THE PLANT BED. THE INTERIOR PORTIONS OF EACH BED SHALL BE PLANTED AT APPROPRIATE SPACING ACCORDING TO THE PLANT SPACING DETAIL.

PLANT SPACING DETAIL
SCALE: N.T.S.



TREE PLANTING DETAIL (65 TO 100 GAL.)
SCALE: N.T.S.

LANDSCAPE PLAN Scale: 1"=50'



ENTRY WALL PERSPECTIVE

TREE REPLACEMENT PLAN:

TOTAL SITE NEW = 107 CANOPY, 53 UNDERSTORY

REPLACEMENT INCHES = 160 X 3" = 480"

TOTAL SITE SAVED = 1,054"

TOTAL INCHES POST DEVELOPMENT 1,534"

PLANT SCHEDULE

Quan.	Common Name	Botanical Name	Size	Spacing
35	Shumard Oak	Quercus shumardii	3" Caliper DBH; 12' Height	As Shown
71	Live Oak	Quercus virginiana	3" Caliper DBH; 12' Height	As Shown
1	Magnolia	Magnolia grandiflora	3" Caliper DBH; 12' Height	As Shown
42	Dahoon holly	Ilex cassine	3" Caliper DBH; 10' Height	As Shown
11	Wax Myrtle	Myrica cerifera	3" Caliper DBH; 10' Height	As Shown
25	Indian Hawthorn	Raphioliopsis indica	3 Gallon; 15-18" x 15-18"	As Shown
460	Viburnum	Viburnum odoratissimum	3 Gallon; 30" Height	As Shown
36	Lorepetalum	Loropetalum chinensis	3 Gallon; 15-18" x 15-18"	24" on Center
350	Dwarf Confederate Jasmine	Trachelospermum asiaticum	1 Gallon; 9-12" spread	24" on Center

Sod & Mulch

99	Bahiagrass	SOD	Paspalum Notatum 'Argentine'	NA
	Pine bark		NA	3" thick in all planting beds

IF THIS SHEET IS LESS THAN 24" X 36" IT IS A REDUCED DRAWING

REV	DATE	REVISION
1	10.16.2017	CIVIL MODIFICATIONS
2	1.30.2018	CITY COMMENTS
3	2.13.2018	CITY COMMENTS

R. Miller Architecture, Inc.
125 South Snopce Avenue
Suite 105
Maitland, Florida 32789
P: 407.532.2412
F: 407.532.2041
RMillerArchitecture.com

ZARABROOKE
VICK & MARTIN STREET
APOPKA, FLORIDA

PROJECT:
DATE:
DRAWN BY:
CHECKED BY:
TITLE:
LANDSCAPE PLAN
SCALE: AS NOTED
SHEET:
L-1

WEEKLY RUN TIMES/FLOWS (AVERAGE)

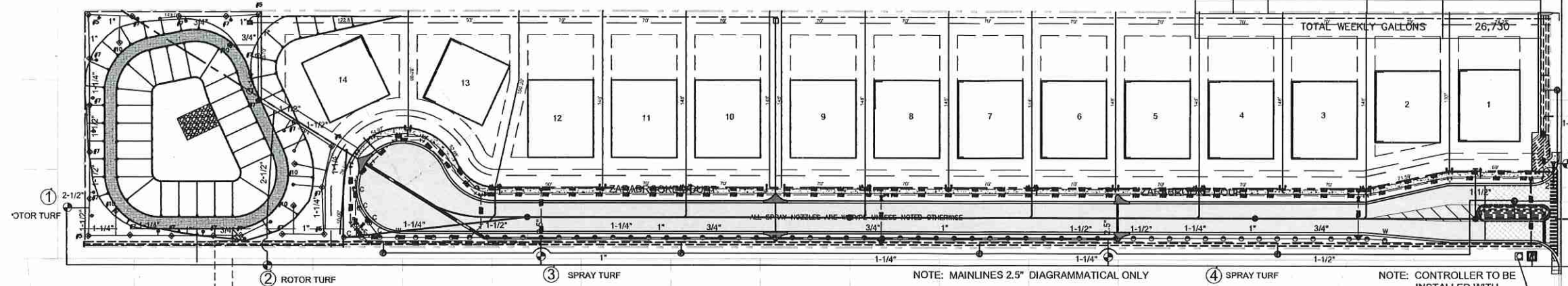
SOD = 1.5" WATER PER WEEK
SHRUB = 0.75" WATER PER WEEK
SPRAYS = 1.0" WATER PER HOUR
ROTORS = 0.5" WATER PER HOUR
DRIP = 1.5" WATER PER HOUR

NORTH BUILDING AREA ZONE	GPM	ZONE TYPE	WEEKLY RUN TIME (MIN)	TOTAL WEEKLY FLOW (GALLONS)
1	58	SOD ROTOR	150	8700
2	57	SOD ROTOR	150	8550
3	58	SOD SPRAY	60	3750
4	56	SOD SPRAY	60	3480
5	50	SHRUB DRIP	45	2250

IRRIGATION PIPE SIZE	SLEEVE SIZE
3/4"	1 1/2"
1"	1 1/2"
1 1/4"	2"
1 1/2"	2 1/2"
2"	3"
2 1/2"	4"
3"	6"
4"	8"

IRRIGATION AND ELECTRICAL SLEEVE SCHEDULE

IRRIGATION PIPE SIZE	SLEEVE SIZE
3/4"	1 1/2"
1"	1 1/2"
1 1/4"	2"
1 1/2"	2 1/2"
2"	3"
2 1/2"	4"
3"	6"
4"	8"



BUBBLERS ATTACHED TO ROTOR ZONES ARE ACCEPTABLES FOR COMMON AREAS ONLY, WITH THE BUBBLE FLOW RATE ACCEPTABLE APPROPRIATE WITH THE RUNNING TIME OF THE ZONE. ROTORS AND BUBBLERS CANNOT BE ON SAME ZONE FOR INDIVIDUAL HOUSES.

SAJ
03-05-18

IRRIGATION PLAN Scale: 1"=50'

LEGEND

- RAINBIRD 1800 SERIES, 6" POP UP
- HUNTER PGP ULTRA
- HUNTER 1.5" PGV VALVE IRRIGATION CONTROL VALVE. PLASTIC BODY WITH FLOW CONTROL. MOUNT IN 15" RECTANGULAR VALVE BOX WITH PURPLE LID FOR RECLAIMED WATER. PROVIDE PURPLE COLOR VALVE ID TAG AND USE 3M-DBYR SPLICE MATERIAL.
- NEW IRRIGATION CONTROLLER WITH RAIN SWITCH (RS-D-BEX RAIN SENSOR). RAINBIRD ESP TM2 SERIES 6 STATION. 120 VOLT, 6 AMP. ELECTRIC CIRCUIT REQUIRED FROM NEAREST ELECTRICAL PANEL, BY THE SITE ELECTRICAL CONTRACTOR.
- REUSE WATER TAP AND REUSE WATER METER, PER LOCAL OUC CODES. SIZE INDICATED ON CIVIL PLAN.

PVC MAIN LINE PIPE. CLASS 200, LAVENDER PVC. INSTALL 18" DEEP. 2.5" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS. 3" AND LARGER, GASKET JOINT PIPE AND DUCTILE IRON GASKET JOINT FITTINGS AND TRUST BLOCKS.

PVC LATERAL LINE PIPE. CLASS 315, LAVENDER PVC. INSTALL 12" DEEP. 2.5" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS.

PVC SLEEVE PIPE. SCHEDULE 40, PVC. SOLVENT WELD PVC PIPE AND FITTINGS. ALL PAVEMENT CROSSINGS

- LOW VOLUME
- DRIP IRRIGATION VALVE, FILTER AND REGULATOR ASSEMBLY. 1-15 GPM (1/2") - HUNTER DRIP ZONE KIT (ACZ-075-25) 2-20 GPM (1") - HUNTER DRIP ZONE KIT (CZ-101-25) 40-60 GPM (1.5") - HUNTER DRIP ZONE KIT (CZ-151-40)
 - DRIP IRRIGATION VALVE, FILTER AND REGULATOR ASSEMBLY. 3-5 GPM (3/4") - RAIN BIRD LOW FLOW CONTROL ZONE KIT (KXZ-075-PRF) 3-15 GPM (1") - RAIN BIRD MEDIUM CONTROL ZONE KIT (KXZ-RFB-100-COM) 15-60 GPM (1.5") - RAIN BIRD CONTROL ZONE KIT (KXZ-RFB-100-COM) 40-60 GPM (1.5") - HUNTER DRIP ZONE KIT (CZ-151-40)

- DRIP EMITTER TUBING - 9 GPH X 12" EMITTER SPACING, AND 18" ROW SPACING. PVC PIPE SUPPLY AND EXHAUST HEADERS WITH AIR RELEASE VALVES, AND AUTO FLUSH VALVES IN VALVE BOXES PER HIGH, LOW, AND END POINTS OF THE TUBING. PROVIDE A 12" POP-UP SPRAY HEAD WITH THE NOZZLE SHUT OFF AS A SYSTEM OPERATION INDICATOR. USE PVC PIPE TO AND BETWEEN EACH PLANTING AREA.
- HETARIUM UN-TECHLINE-CHL - 1 GPH - 12" OC, OR EQUAL.
- DENOTES TREE IN THIS AREA. REFER TO TREE DRIP COIL DETAIL.

LETTER	GPM AT 30 PSI	RADIUS	PATTERN
A	0.9	15'	QUARTER
B	1.25	15'	ONE THIRD
C	1.85	15'	HALF
D	2.5	15'	TWO THIRD
E	2.8	15'	THREE QTR.
F	3.7	15'	FULL
G	0.65	12'	QUARTER
H	0.9	12'	ONE THIRD
J	1.3	12'	HALF
K	1.75	12'	TWO THIRD
L	1.95	12'	THREE QTR.
M	2.6	12'	FULL
N	0.4	10'	QUARTER
P	0.5	10'	ONE THIRD
R	0.8	10'	HALF
U	0.6	4' x 15'	END STRIP
V	1.2	4' x 30'	SIDE STRIP
W	1.2	4' x 30'	CENTER STRIP
X	1.7	9' x 18'	SIDE STRIP
Z10	VARIES	10'	ADJUSTABLE ARC
Z12	VARIES	12'	ADJUSTABLE ARC
Z	VARIES	15'	ADJUSTABLE ARC
Y	0.5	1'	FLOOD BUBBLER
O	1.0	5'	STREAM BUBBLER
1	0.3	8"	QUARTER
2	0.4	8"	ONE THIRD
3	0.5	8"	HALF

SCHEDULE

SUGGESTED IRRIGATION SCHEDULES

SHRUB DRIP ZONES - OPERATE 10 MINUTES TWO TIMES ON TWO DAYS OF THE WEEK PER LOCAL IRRIGATION SCHEDULING TIMETABLES TO APPLY .75" OF WATER IN A WEEK WITHOUT RAINFALL.

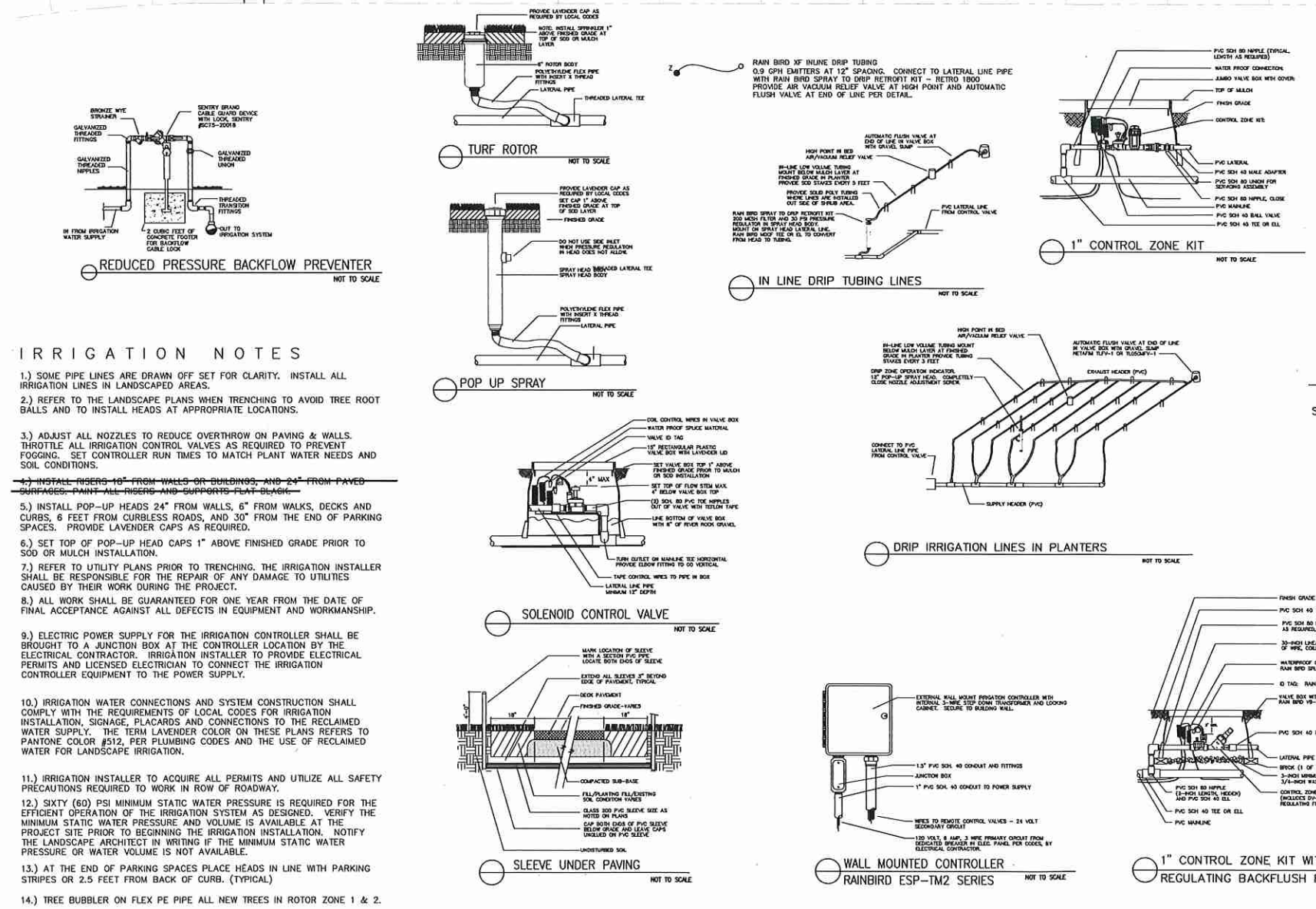
SPRAY SPRAY ZONES - OPERATE 10 MINUTES TWO TIMES ON TWO DAYS OF THE WEEK PER LOCAL IRRIGATION SCHEDULING TIMETABLES TO APPLY .75" OF WATER IN A WEEK WITHOUT RAINFALL.

TURF SPRAY ZONES - OPERATE 10 MINUTES TWO TIMES ON TWO DAYS OF THE WEEK PER LOCAL IRRIGATION SCHEDULING TIMETABLES TO APPLY 1.25" OF WATER A WEEK WITHOUT RAINFALL.

SUGGESTED IRRIGATION SCHEDULE FOR THE FIRST SIXTY DAYS AFTER PLANTING FOR PLANT ESTABLISHMENT - INCREASE STATION RUN TIMES BY 33% AND ADD ONE EXTRA DAY OF IRRIGATION TO APPLY 50% EXTRA WATER A WEEK WITHOUT RAINFALL.

INSTALLER SHALL ADJUST THIS SCHEDULE AS NEEDED ACCORDING TO ACTUAL FIELD CONDITIONS, CLIMATE AND PLANT WATER NEEDS.

IF THIS SHEET IS LESS THAN 24" X 36" IT IS A REDUCED DRAWING



IRRIGATION NOTES

- SOME PIPE LINES ARE DRAWN OFF SET FOR CLARITY. INSTALL ALL IRRIGATION LINES IN LANDSCAPED AREAS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS AND TO INSTALL HEADS AT APPROPRIATE LOCATIONS.
- ADJUST ALL NOZZLES TO REDUCE OVERTHROW ON PAVING & WALLS. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- INSTALL RISERS 10" FROM WALLS OR BUILDINGS, AND 24" FROM PAVED SURFACES. PAINT ALL RISERS AND SUPPORTS PLANT SLASH.
- INSTALL POP-UP HEADS 24" FROM WALLS, 6" FROM WALKS, DECKS AND CURBS, 6 FEET FROM CURBLESS ROADS, AND 30" FROM THE END OF PARKING SPACES. PROVIDE LAVENDER CAPS AS REQUIRED.
- SET TOP OF POP-UP HEAD CAPS 1" ABOVE FINISHED GRADE PRIOR TO SOD OR MULCH INSTALLATION.
- REFER TO UTILITY PLANS PRIOR TO TRENCHING. THE IRRIGATION INSTALLER SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES CAUSED BY THEIR WORK DURING THE PROJECT.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- ELECTRIC POWER SUPPLY FOR THE IRRIGATION CONTROLLER SHALL BE BROUGHT TO A JUNCTION BOX AT THE CONTROLLER LOCATION BY THE ELECTRICAL CONTRACTOR. IRRIGATION INSTALLER TO PROVIDE ELECTRICAL PERMITS AND LICENSED ELECTRICIAN TO CONNECT THE IRRIGATION CONTROLLER EQUIPMENT TO THE POWER SUPPLY.
- IRRIGATION WATER CONNECTIONS AND SYSTEM CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL CODES FOR IRRIGATION INSTALLATION. SIGNAGE, PLACARDS AND CONNECTIONS TO THE RECLAIMED WATER SUPPLY. THE TERM LAVENDER COLOR ON THESE PLANS REFERS TO PANTONE COLOR #512, PER PLUMBING CODES AND THE USE OF RECLAIMED WATER FOR LANDSCAPE IRRIGATION.
- IRRIGATION INSTALLER TO ACQUIRE ALL PERMITS AND UTILIZE ALL SAFETY PRECAUTIONS REQUIRED TO WORK IN ROW OF ROADWAY.
- SIXTY (60) PSI MINIMUM STATIC WATER PRESSURE IS REQUIRED FOR THE EFFICIENT OPERATION OF THE IRRIGATION SYSTEM AS DESIGNED. VERIFY THE MINIMUM STATIC WATER PRESSURE AND VOLUME IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE.
- AT THE END OF PARKING SPACES PLACE HEADS IN LINE WITH PARKING STRIPES OR 2.5 FEET FROM BACK OF CURB. (TYPICAL)
- TREE BUBBLER ON FLEX PE PIPE ALL NEW TREES IN ROTOR ZONE 1 & 2.

REV	DATE	REVISION
1	10.16.2017	CIVIL MODIFICATIONS
2	11.30.2018	CITY COMMENTS
3	2.13.2018	CITY COMMENTS

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F: 407.539.2041
RMillerArchitecture.com

ZARABROOKE
VICK & MARTIN STREET
APOPKA, FLORIDA

PROJECT:
DATE:
DRAWN BY:
CHECKED BY:
TITLE:
IRRIGATION PLAN
SCALE: AS NOTED
SHEET:
L-2

ALTA \ NSPS LAND TITLE SURVEY

ZARABROOKE

SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF APOPKA
ORANGE COUNTY, FLORIDA

Legal Description

THE SOUTH 198.00 FEET OF THE NORTH 3/4 OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; LESS THE WEST 12 FEET THEREOF AND LESS AND EXCEPT ROAD RIGHT-OF-WAY ON THE EAST.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN N 02°25'40"E ALONG THE EAST LINE OF NORTHEAST 1/4 SAID SECTION 5, A DISTANCE OF 663.59 FEET TO THE SOUTHEAST CORNER OF THE NORTH 3/4 OF THE NORTHEAST 1/4 OF SAID SECTION 5; THENCE RUN N 87°40'52"W ALONG THE SOUTH LINE OF SAID NORTH 3/4 A DISTANCE OF 80.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF VICK ROAD (80' RIGHT-OF-WAY) FOR A POINT OF BEGINNING; THENCE CONTINUE N 87°40'52"W ALONG SAID SOUTH LINE OF THE NORTH 3/4 OF THE NORTHEAST 1/4 OF AFORESAID SECTION 5 A DISTANCE OF 1228.88 FEET TO THE SOUTHEAST CORNER OF TRACT "E", THE COURTYARDS PHASE TWO, AS RECORDED IN PLAT BOOK 31, PAGES 63 & 64, ORANGE COUNTY, FLORIDA; THENCE RUN N 02°21'04"E ALONG THE EAST LINE OF SAID TRACT "E" 198.00 FEET TO THE SOUTHERLY LINE OF LOT 45, OF SAID "THE COURTYARDS PHASE TWO"; THENCE RUN S 87°40'52"E ALONG THE SOUTHERLY LINES OF LOTS 24 THRU 45, OF SAID "THE COURTYARDS PHASE TWO" 1229.14 FEET TO THE AFORESAID WESTERLY RIGHT-OF-WAY LINE OF VICK ROAD; THENCE RUN S 02°25'40"W ALONG SAID WESTERLY RIGHT-OF-WAY LINE 198.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 5.59 ACRES MORE OR LESS.

Notes:

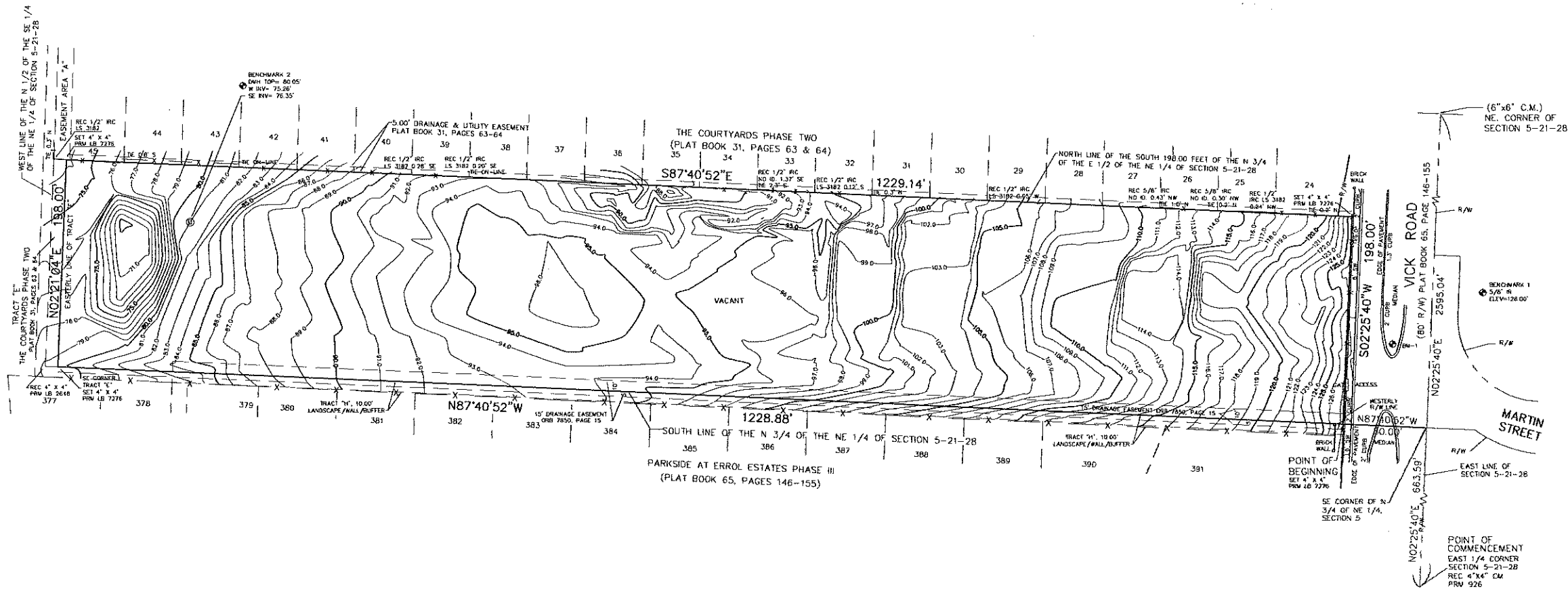
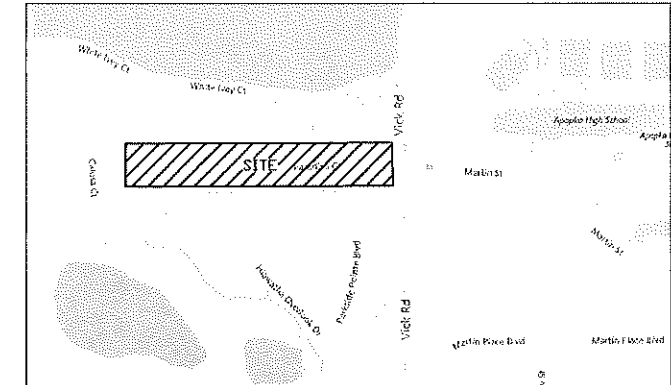
- Bearing structure is based on the East Line of the Northeast 1/4 of Section 5, Township 21 South, Range 28 East, Orange County, Florida; having an assumed bearing of North 02°25'40" East.
- This survey does not reflect or determine ownership.
- Underground improvements or underground foundations have not been located.
- According to the Federal Insurance Rate Map, this property lies in Zone "X", Map number 12095C01101, dated September 25, 2009.
- This property lies in Section 5, Township 21 S., Range 28 E., Orange County, Florida.
- Elevations and Contours are based on Orange County Benchmark, Designation Number SB17002, having an Elevation of 108.912 feet (NAVD 88 datum).
- Contours are shown at 1.0 Foot intervals.
- No title commitment was provided to the surveyor at the time of survey.
- A new legal description was prepared for the subject property for plotting purposes.
- The new legal description is intended to describe the same property recorded in official records book 7704, page 4871, public records of Orange County, Florida.
- No zoning information was provided to the surveyor at the time of survey.
- There is a 15.00 drainage easement as recorded in official records book 7580, page 15, that affects subject property and is depicted herein.
- Site address is 800 Vick Road, Apopka, Florida 32751.
- Subject property contains 5.59 acres of land plus or minus.
- There is no evidence of recent earth moving work, building construction or additions at the time of survey.
- The surveyor is not aware of proposed changes in street right of way lines and has not evidenced sidewalk or street construction.

Legend:

R/W	Right-of-Way
P.R.M.	Permanent Reference Monument
P.C.P.	Permanent Control Point
C.M.	Concrete Monument
R.L.S.	Registered Land Surveyor
TYP	Typical
UE	Utilities Easement
UFO	Underground Fiber Optic
SW	Sidewalk
BM	Benchmark
IR	Iron Rod
SV	Sewer Valve
WV	Water Valve
TR	Telephone Riser
LP	Light Pole
RWM	Re-Use Water Main
ER	Electric Riser
DMH	DRAINAGE MANHOLE
INV	INVERT
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
SMH	SANITARY SEWER MANHOLE
CHBY	CHINABERRY
CMPH	CAMPHER
CL	CENTERLINE
ORB	OFFICIAL RECORDS BOOK

VICINITY MAP

(NOT TO SCALE)



SHEET 1 OF 2
SEE SHEET 2 FOR TREES & STRUCTURES

BOUNDARY & TOPOGRAPHICAL SURVEY
OF
ZARABROOKE
FOR
ZARABROOKE, LLC

HLSM, LLC
Harris-Lane-Stephens-Howard
Professional Surveyors & Mappers
Licensed Business No. 7276
794 Big Tree Drive, Suite 108
Coppock, Florida 32750
P 407-647-7246
F 407-990-7166
Survey@HLSM.US

SURVEYOR'S CERTIFICATE

To:
ZARABROOKE, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8, 11, 13, 14, 16 and 17 of Table A thereof. The field work was completed on March 16, 2017.

Date of Map: April 13, 2017.

101

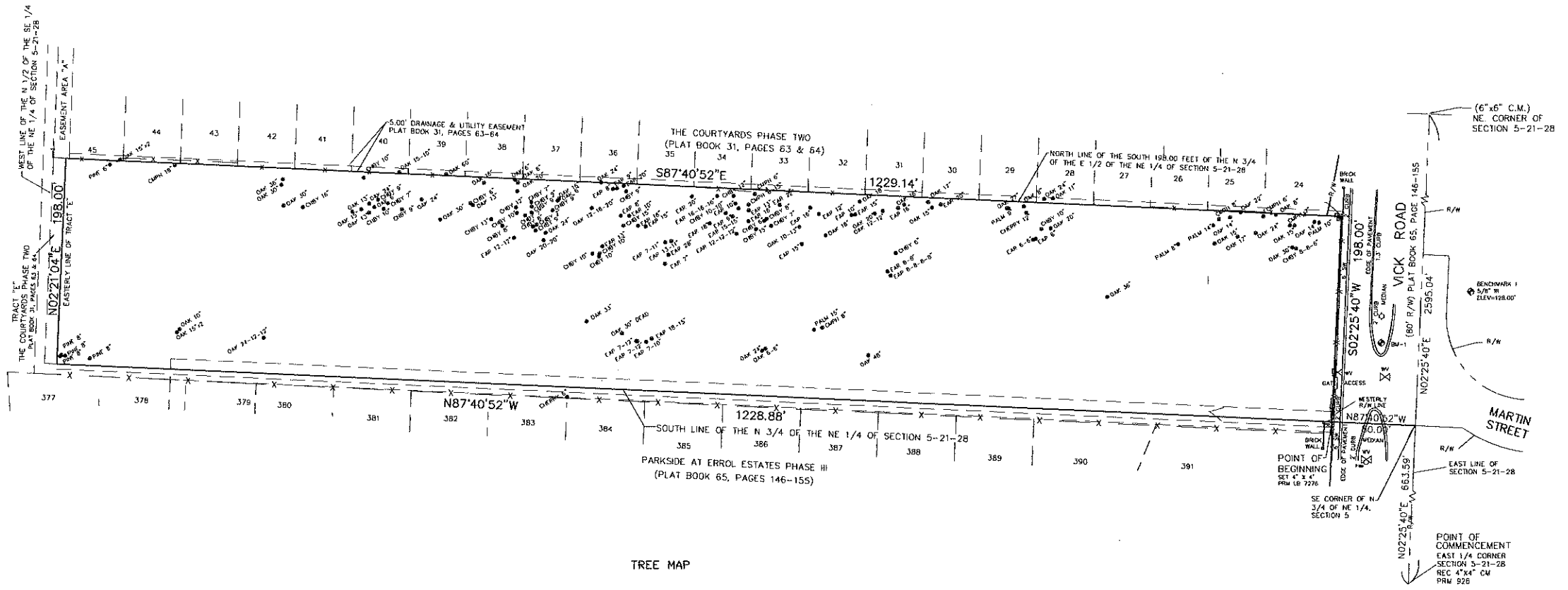
William F. Menard
William F. Menard
Professional Surveyor & Mapper
Florida Registration No. 5675

REVISIONS	
Rev. INVERT INFO	Date: 5-16-17
Rev. _____	Date: _____
Rev. _____	Date: _____
Rev. _____	Date: _____

THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

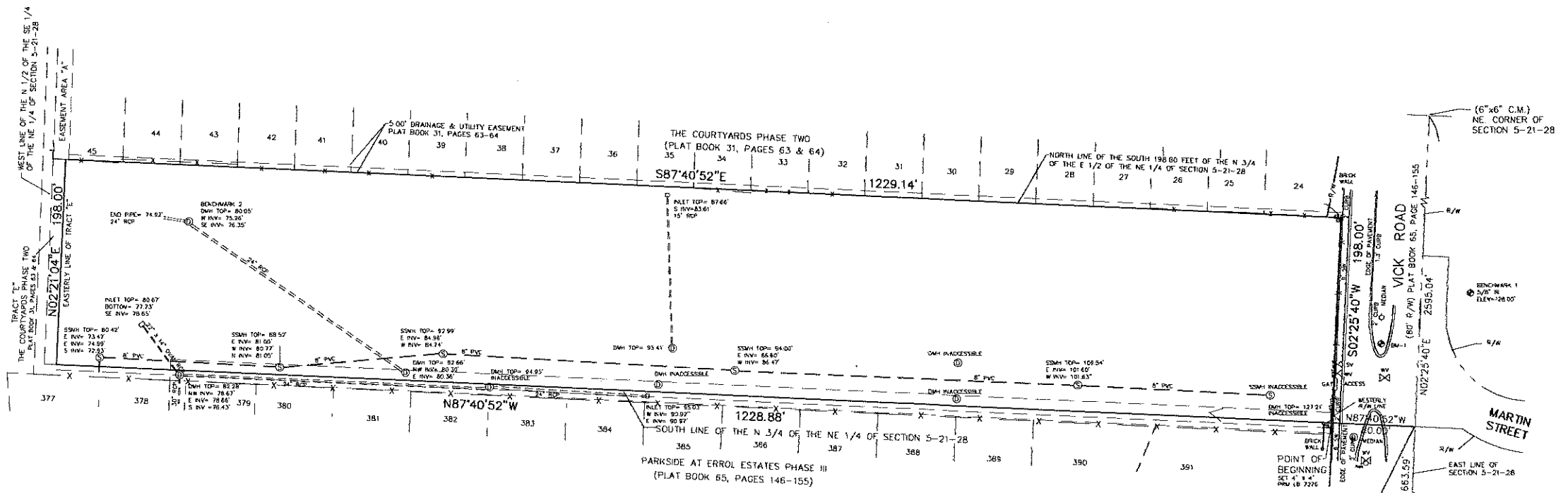
Job No:	H-113	William F. Menard Professional Surveyor & Mapper Florida Registration #5675
Field Date:	3/15/17	
Drawn By:	GJS	
Field By:	WKP/TH	
Scale:	1"=60'	

ALTA \ NSPS LAND TITLE SURVEY
ZARABROOKE
 SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST
 CITY OF APOPKA
 ORANGE COUNTY, FLORIDA



TREE MAP

- Legend:**
- R/W Right-of-Way
 - P.R.M. Permanent Reference Monument
 - P.C.P. Permanent Control Point
 - C.M. Concrete Monument
 - R.L.S. Registered Land Surveyor
 - TYP. Typical
 - UE Utilities Easement
 - UFO Underground Fiber Optic
 - SW Sidewalk
 - BW Benchmark
 - IR Iron Rod
 - RSV Sewer Valve
 - W Water Valve
 - TR Telephone Riser
 - L Light Pole
 - RWM Re-Use Water Main
 - ER Electric Riser
 - DWH DRAINAGE MANHOLE
 - INV INVERT
 - PVC POLYVINYL CHLORIDE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - SSMH SANITARY SEWER MANHOLE
 - CHBY CHINABERRY
 - CMFH CAMPHOR
 - C CENTERLINE
 - ORB OFFICIAL RECORDS BOOK



DRAINAGE & SANITARY MAP

SHEET 2 OF 2
 SEE SHEET 1 FOR BOUNDARY AND TOPOGRAPHICAL SURVEY

BOUNDARY & TOPOGRAPHICAL SURVEY
 OF
 ZARABROOKE
 FOR
 ZARABROOKE, LLC

HLSM, LLC
 Licensed Professional Surveyors & Mappers
 794 Big Tree Drive, Suite 100
 Longwood, Florida 32750
 P. (407) 647-7346
 F. (407) 960-7164
 Survey@HLSM.US

REVISIONS

Rev. 01/27/17	INFO	Date: 5-16-17
Rev. _____	_____	Date: _____
Rev. _____	_____	Date: _____

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Job No:	H-113
Field Date:	3/15/17
Drawn By:	GJS
Field By:	WKP/TH
Scale:	1"=60'

SERVER:\PROJECTS\ZARABROOKE\AKA PARADISO PARK\DWG\BOUND-TOP.DWG

ZARABROOKE

SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST
CITY OF AOPKA
ORANGE COUNTY, FLORIDA

SHEET 1 OF 1

PLAT BOOK _____ PAGE _____

ZARABROOKE DEDICATION

KNOWN TO ALL MEN BY THESE PRESENTS, That the undersigned, are the lawful owners in fee simple of the lands described in the caption of this Plat, hereby dedicates said lands and plot for the uses and purposes therein expressed and dedicates the STREETS AND EASEMENTS shown hereon to the perpetual use of the public and the City of Apopka.

IN WITNESS WHEREOF, said Declarant has caused these presents to be executed by the undersigned Owner, thereunto duly authorized on this _____ day of _____, 2018.

Zarabrooke, LLC
By: Barry Kalmanson, Owner

Signature _____

Signed, sealed and delivered in the presence of the following witnesses:

Signature of Witness _____ Signature of Witness _____

Printed Name of Witness _____ Printed Name of Witness _____

STATE OF FLORIDA COUNTY OF _____

The foregoing Dedication was acknowledged before me this _____ day of _____, 2018 by _____ Zarabrooke, LLC, on behalf of said company. He is personally known to me or has produced _____ as identification, and did (did not) take an oath that he is the person described in and who executed the foregoing dedication and severally acknowledged the execution thereof to his free act and deed.

IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.

Notary Public - State of Florida

Commission No.:

My Commission Expires: _____ NOTARY SEAL

CERTIFICATE OF APPROVAL BY CITY COUNCIL

THIS IS TO CERTIFY, That on _____ the foregoing plat was approved by City Council.

Mayor _____

Attest: _____

City Clerk _____ By: _____ D.C.

CERTIFICATE OF SURVEYOR

I hereby certify that this plat is a true and correct representation of the lands surveyed, that the survey was made under my responsible direction and supervision, and that the survey data contained herein complies with all of the requirements of Chapter 177 of the Florida Statutes. I further certify that I have complied with the requirements of Chapter 177.091(7) regarding "permanent reference monuments", and that the land is located within Orange County, Florida.

Dated _____

Signature _____
WILLIAM F. MENARD
Registration No. 5625
HENRICH-LUKE-SWAGGERTY-MENARD
794 Big Tree Drive, Suite 108
Longwood, Florida 32750
Certificate of Authorization No. 7276

CERTIFICATE OF REVIEW BY CITY SURVEYOR

This Plat has been reviewed for conformity with chapter 177, Florida Statutes.

REVIEWED BY: _____

Date _____

CERTIFICATE OF APPROVAL BY PLANNING COMMISSION

Examined and Approved. _____

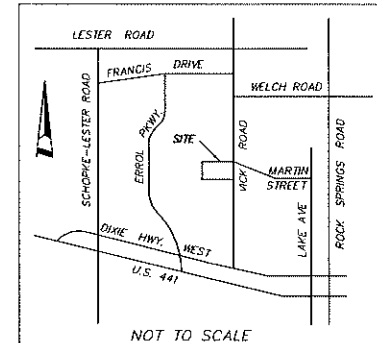
Chairman _____ Date _____

CERTIFICATE OF APPROVAL BY CITY ENGINEER

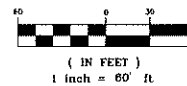
Examined and Approved. _____

City Engineer _____ Date _____

VICINITY MAP
(NOT TO SCALE)



GRAPHIC SCALE



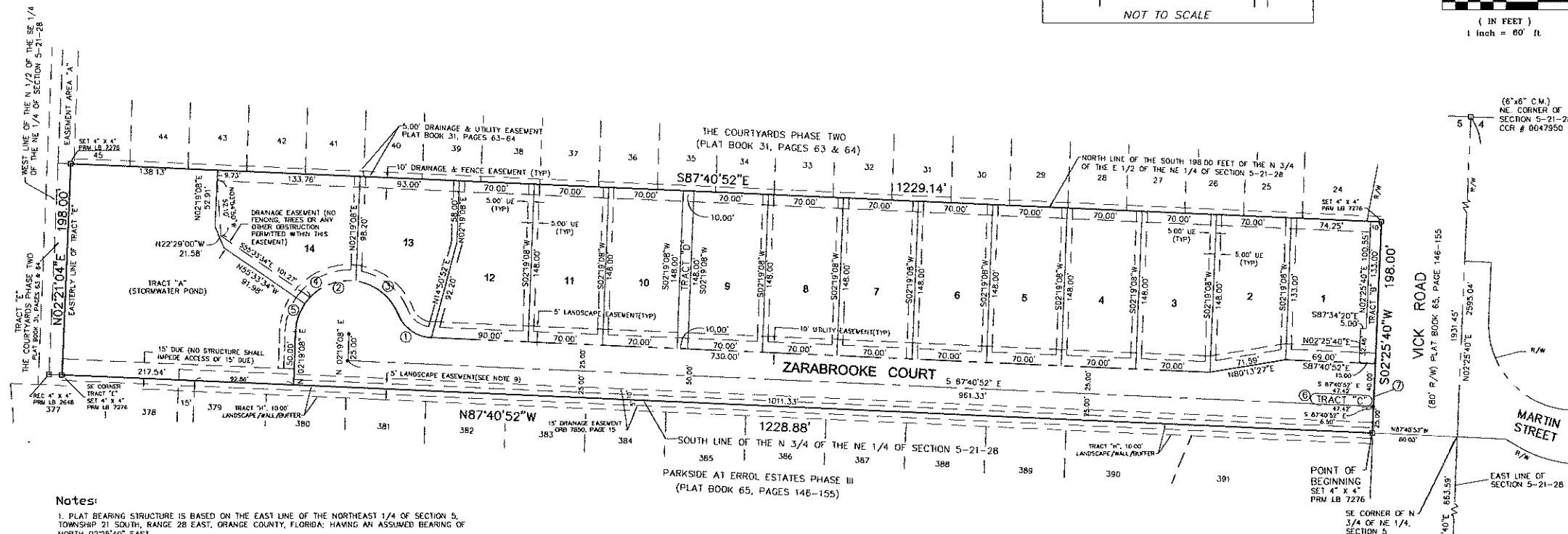
Legal Description

THE SOUTH 198.00 FEET OF THE NORTH 3/4 OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; LESS THE WEST 12 FEET THEREOF AND LESS AND EXCEPT ROAD RIGHT-OF-WAY ON THE EAST.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE EAST 1/4 CORNER OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN N 02°25'40"E ALONG THE EAST LINE OF NORTHEAST 1/4 SAID SECTION 5, A DISTANCE OF 663.59 FEET TO THE SOUTHEAST CORNER OF THE NORTH 3/4 OF THE NORTHEAST 1/4 OF SAID SECTION 5; THENCE RUN N 87°40'52"W ALONG THE SOUTH LINE OF SAID NORTH 3/4 A DISTANCE OF 80.00 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF WICK ROAD (80' RIGHT-OF-WAY) FOR A POINT OF BEGINNING; THENCE CONTINUE N 87°40'52"W ALONG SAID SOUTH LINE OF THE NORTH 3/4 OF THE NORTHEAST 1/4 OF AFORESAID SECTION 5 A DISTANCE OF 1228.88 FEET TO THE SOUTHEAST CORNER OF TRACT "C"; THE COURTYARDS PHASE TWO, AS RECORDED IN PLAT BOOK 31, PAGES 63 & 64, ORANGE COUNTY, FLORIDA; THENCE RUN N 02°21'04"E ALONG THE EAST LINE OF SAID TRACT "E" 198.00 FEET TO THE SOUTHERLY LINE OF LOT 45, OF SAID "THE COURTYARDS PHASE TWO"; THENCE RUN S 87°40'52"E ALONG THE SOUTHERLY LINES OF LOTS 24 THRU 45, OF SAID "THE COURTYARDS PHASE TWO" 1229.14 FEET TO THE AFORESAID WESTERLY RIGHT-OF-WAY LINE OF WICK ROAD; THENCE RUN S02°25'40"W ALONG WESTERLY RIGHT-OF-WAY LINE 198.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 5.59 ACRES MORE OR LESS.



Notes:

- PLAT BEARING STRUCTURE IS BASED ON THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 5, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; HAVING AN ASSUMED BEARING OF NORTH 02°29'40" EAST.
- TRACT "A" IS FOR STORMWATER RETENTION PURPOSES OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- TRACT "B" IS FOR LANDSCAPE/WALL PURPOSES OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- TRACT "C" IS FOR A LANDSCAPED ISLAND OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- TRACT "D" IS A DRAINAGE TRACT OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- ALL PLATTED UTILITY EASEMENTS HEREBY PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SUBJECT TO STATUTORY LIMITATIONS THEREON.
- VEHICULAR ACCESS RIGHTS (INGRESS/EGRESS) OF ZARABROOKE COURT RIGHT-OF-WAY SHALL BE DEDICATED TO THE CITY OF AOPKA, AS APPROVED BY THE CITY ENGINEER.
- THE 5 FOOT WIDE LANDSCAPE EASEMENT IS FOR THE MAINTENANCE AND PROTECTION OF STREET TREES BY THE HOME OWNER'S ASSOCIATION.
- THE 5 FOOT WIDE LANDSCAPE EASEMENT ALONG THE SOUTH BOUNDARY OF THIS PLAT IS TO BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION.
- THE 10 FOOT WIDE FENCE EASEMENT ALONG LOTS 1-14 IS FOR THE PROTECTION AND MAINTENANCE OF THE FENCE BY THE HOME OWNER'S ASSOCIATION.
- SUBJECT PROPERTY FORMERLY KNOWN AS PARADISO PARK, AN UNPLATTED SUBDIVISION
- A 15 FOOT DRAINAGE EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 7850, PAGE 15 AFFECTS THIS PROPERTY AND IS DEPICTED HEREON.

CURVE DATA						
NO.	RADIUS	DELTA	LENGTH	TANGENT	CHORD	CHORD BEARING
1	55.00'	65°41'03"	40.12'	22.59'	37.96'	N54°50'20"W
2	50.00'	153°41'03"	135.26'	232.03'	97.76'	N80°09'40"E
3	50.00'	60°34'01"	52.85'	28.20'	50.43'	N52°16'48"W
4	50.00'	82°59'44"	54.97'	30.64'	52.25'	S65°56'18"W
5	50.00'	32°07'18"	28.03'	14.39'	27.67'	S18°22'47"W
6	5.00'	180°00'00"	15.71'	--	10.00'	N02°19'08"E
7	5.00'	180°00'00"	15.71'	--	10.00'	S02°19'08"W

Legend

- R/W RIGHT-OF-WAY
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.C.P. PERMANENT CONTROL POINT
- C.M. CONCRETE MONUMENT
- R.L.S. REGISTERED LAND SURVEYOR
- TYP TYPICAL
- UE UTILITIES EASEMENT
- IR IRON ROD
- ORB OFFICIAL RECORDS BOOK
- DUE DRAINAGE & UTILITY EASEMENT
- CL CENTERLINE
- SET NAIL & DISK PCP LB 7276
- SET 4" X 4" CONCRETE MONUMENT PRM 7276

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT IN THE PUBLIC RECORDS OF THIS COUNTY.

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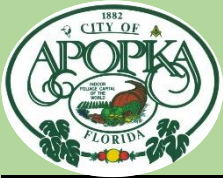
CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY, That I have examined the foregoing plat and find that it complies in form with all the requirements of Chapter 177, Florida Statutes, and was filed for record on _____ at _____ File No. _____

County Comptroller
in and for Orange County, Florida

By: _____ D.C.

HLSM, LLC
Henrich-Luke-Swaggerty-Menard
Professional Surveyors & Mappers
Licensed Business No. 7276
794 Big Tree Drive, Suite 108
Longwood, Florida 32750
P. (407) 647-7346
F. (407) 982-7166
Survey@HLSM.US



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: April 4, 2018
 FROM: Community Development
 EXHIBITS: Land Use Report
 Vicinity Map
 Future Land Use Map
 Zoning Map
 Adjacent Uses
 Ordinance No. 2635

SUBJECT: ORDINANCE NO. 2635 – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – KENNEY HARRY CHARLES MCALISTER

REQUEST: SECOND READING - ORDINANCE NO. 2635 – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – KENNEY HARRY CHARLES MCALISTER FROM “COUNTY” RURAL (1 DU/10 AC) TO “CITY” COMMERCIAL (MAX. 0.25 FAR)

SUMMARY:

OWNER: Kenney Harry Charles McAllister

APPLICANT: Tannath Design, Inc., c/o Brian Potts, P.E.

LOCATION: Northwest corner of the N. Hermit Smith Road and U.S. 441 road intersection

PARCEL ID NUMBER: 01-21-27-0000-00-001

EXISTING USE: Woodlands

CURRENT ZONING: “County” A-1 (ZIP)

PROPOSED DEVELOPMENT: Convenience Market w/ vehicle fuel service (This parcel will be used for landscape buffer area.)

PROPOSED ZONING: “City” PUD (Note: this Future Land Use amendment request is being processed along with a request to change the zoning classification from “County” A-1 (ZIP) to “City” PUD (Planned Unit Development).

TRACT SIZE: 0.04 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: Vacant
 PROPOSED: Up to 479 sq. ft. service station

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The subject parcel was annexed into the city on January 17, 2018 by Ordinance Number 2627. Presently, the subject property does not have a “city” future land use designation or “city” zoning classification assigned. The applicant’s intent for the “Commercial” Future Land Use Designation is to incorporate this parcel with the north-adjacent parcel, 1102 Hermit Smith Road. The applicant is applying for “Planned Unit Development” for the two parcels to accommodate a service station.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Commercial Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Commercial FLUM designation at the subject site:

Future Land Use Element

1. Policy 3.1.i

Commercial

Primary uses shall be for business, commerce, and convenience shopping which may be neighborhood or community oriented. The maximum floor area ratio shall be .25 gross floor area. Institutional land uses of less than five acres; and public facilities or utilities of less than five acres.

Planned Unit Development uses may include: (Policy 3.1.i)

1. All primary uses
2. All Special Exception uses
3. Multifamily Development of up to fifteen dwelling units per acre, when located within a primary use structure
4. Other uses deemed compatible with and complimentary to the other proposed master planned uses and the surrounding neighborhoods.

SCHOOL CAPACITY REPORT: Because this request represents a change to a non-residential future land use designation and zoning classification, school capacity determination by Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on February 12, 2018.

PUBLIC HEARING SCHEDULE:

March 13, 2018 - Planning Commission (5:30 pm)

March 21, 2018 - City Council (7:00 pm) - 1st Reading

April 4, 2018 – City Council (1:30 pm) – 2nd Reading and Adoption

DULY ADVERTISED:

March 2, 2018 – Public Notice and Notification (Apopka Chief, Letters, Poster)

March 23, 2018 – Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval to transmit a change in Future Land Use from “County” Rural to “City” Commercial for the property owned by Kenney Harry Charles McAllister Trust, subject to the information and findings in the staff report.

The **Planning Commission**, at its meeting on March 13, 2018, found the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and unanimously recommended approval of the change of Future Land Use Designation from “County” Rural to “City” Commercial, subject to the findings of the Staff Report.

The **City Council**, at its meeting on March 21, 2018, accepted the first reading of Ordinance 2635, and held it over for second reading and adoption on April 4, 2018.

Recommended Motion: Adopt Ordinance 2635.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	“County” Rural	“County” A-1 (ZIP)	Woodlands
East (City)	“County” Rural	“City” A-1 (ZIP)	Woodlands/Grasslands
South (County)	“County” Rural (1 du/10 ac)	“County” C-3 & R-3	Single-family homes
West (City)	“County” Rural	“County” A-1 (ZIP)	Woodlands

The concept plan shows proposed accesses on S.R. 441 and Hermit Smith Road.

II. LAND USE ANALYSIS

The subject property is located on a site that is ideal for commercial use, which makes the request for a Commercial future land use designation consistent with the Comprehensive Plan policies listed above, as well as the general future land use character of the surrounding area.

Properties to the south and west are developed as existing single-family homes, which properties to the east and north are vacant, but have a future land use designation and zoning classification that permit single-family residential.

The proposed Residential Low Suburban future land use designation is consistent with the general future land use character of the surrounding area.

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Northern Area” of the JPA. The proposed FLUM Amendment request for a change from “County” Rural (0-10 du/ac) to “City” Commercial (Max. 0.25 FAR) is consistent with the terms of the JPA (Second Amendment). Tannath Design, Inc., is the applicant of the proposed future land use amendment and proposed change of zoning for the Property, and has been notified of the hearing schedule.

Transportation: Road access to the site is from West Orange Blossom Trail to the South and Hermit Smith Road to the East.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka’s adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the character of the Property: The current use of the Property is vacant and heavily wooded.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Commercial (max FAR 0.25). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population

CALCULATIONS:

ADOPTED: 1 Unit(s) x 2.659 p/h = 3 persons

PROPOSED: N/A, no residential

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 196 GPD
3. Projected total demand under proposed designation: 72 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 210 GPD

3. Projected total demand under proposed designation: 96 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 12 lbs/ day
4. Projected LOS under proposed designation: 1 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None

2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 0.009 acres
3. Projected facility under proposed designation: N/A acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: N/A

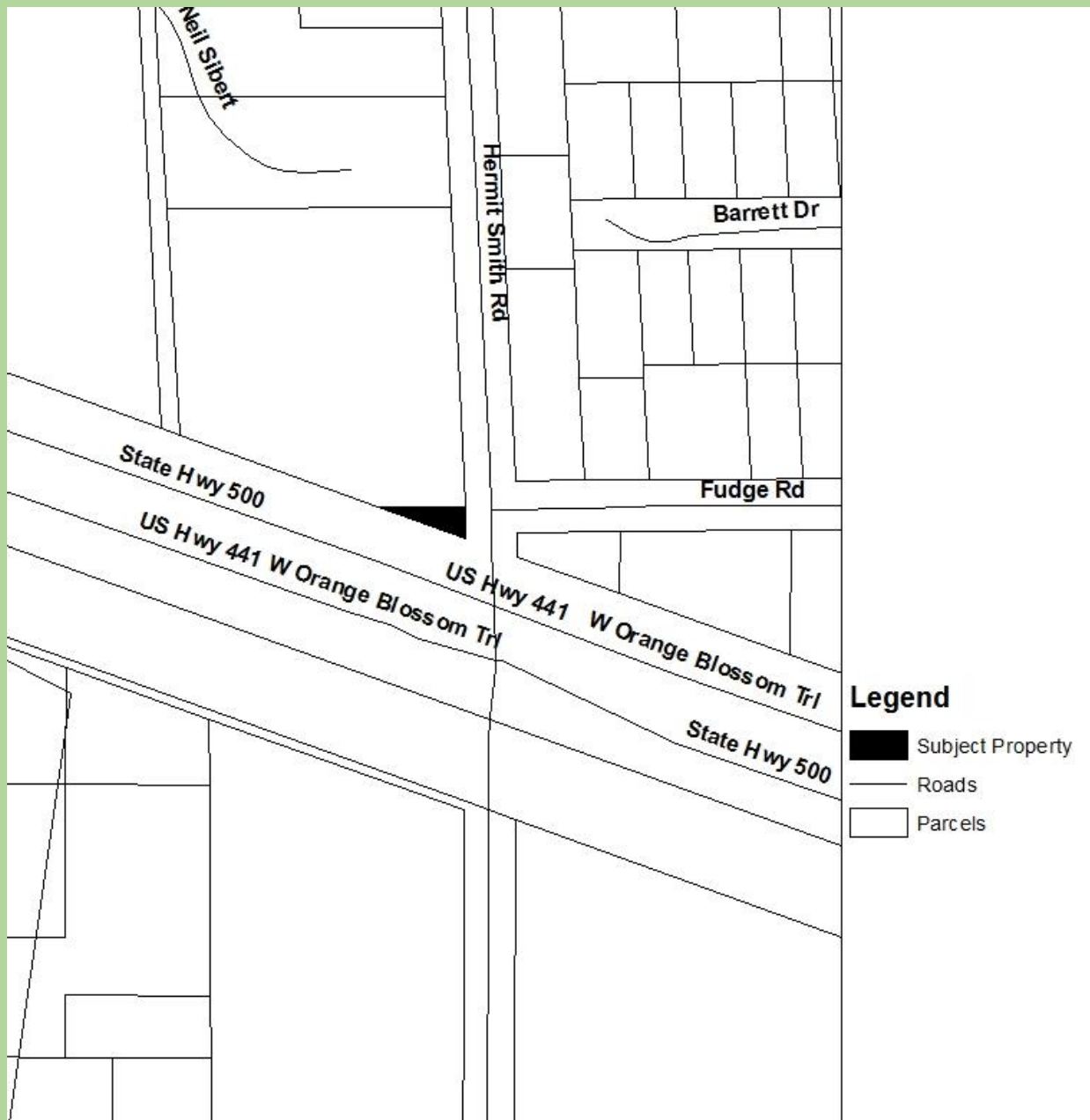
Standards set forth in the City’s Land Development Code will require any development plans to provide parkland and recreation facilities and open space for residents residing with the new development.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



Kenney Harry Charles McAllister
0.04 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: “County” Rural
To: “City” Commercial
Proposed Change of Zoning:
From: A-1 (ZIP)
To: PUD
Parcel ID #: 01-21-27-0000-00-001

VICINITY MAP



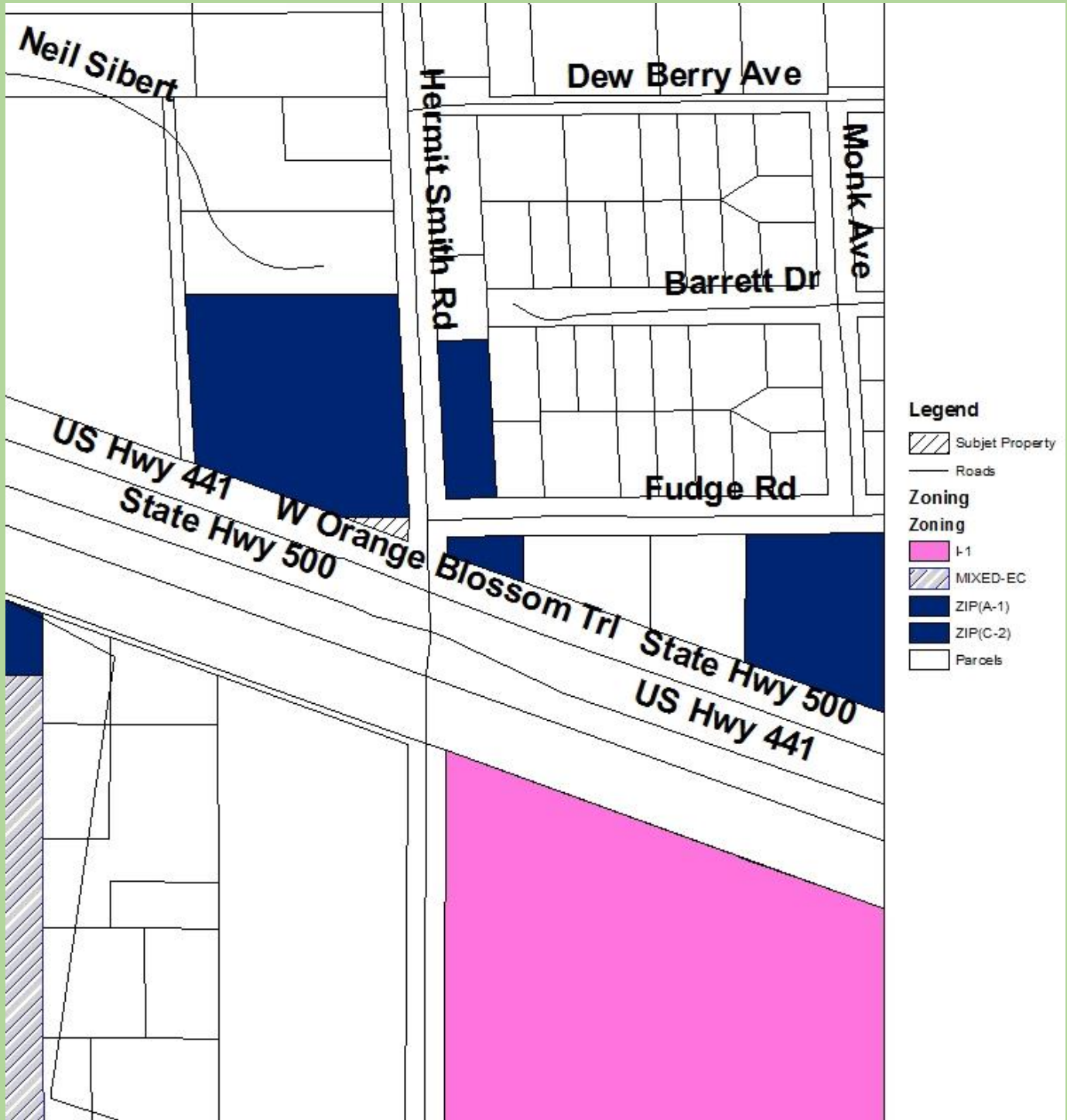


FUTURE LAND USE MAP





ADJACENT ZONING





ADJACENT USES



ORDINANCE NO. 2635

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” RURAL (1 DU\10 AC) TO “CITY” COMMERCIAL (MAX. FAR 0.25) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF HERMIT SMITH ROAD AND NORTH OF ORANGE BLOSSOM TRAIL, COMPRISING 0.04 ACRES, MORE OR LESS AND OWNED BY KENNEY HARRY CHARLES MCALLISTER; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka adopted the Apopka Comprehensive Plan by Ordinance No. 653 on October 2, 1991, pursuant to Section 163.3184, Florida Statutes and most recently amended it by Ordinance No. 2606 on December 20, 2017; and

WHEREAS, the City of Apopka’s local planning agency (Planning Commission) has, in preparation of the amended version of the Apopka Comprehensive Plan, analyzed the proposed amendment pursuant to Chapter 163, Part II, F.S., found it to be consistent with the intent of the Apopka Comprehensive Plan, and held public hearings providing for full public participation.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. Purpose and Intent.

This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3184 and 163.3187, Florida Statutes.

Section II. Future Land Use Element.

Page 1-15 (Map 1-3) of the Future Land Use Element of the City of Apopka Comprehensive Plan, as most recently amended by Ordinance No. 2606, is amended in its entirety to change the land use from “County” Rural (1 du\10 ac) to “City” Commercial (Max. FAR 0.25), for certain real property generally located west of Hermit Smith Road and north of U.S. 441, comprising 2.45 acres more or less, and owned by Kenney Harry Charles McAllister; as further described in Exhibit “A” attached hereto.

Section III. Applicability and Effect.

The applicability and effect of the City of Apopka Comprehensive Plan shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes.

Section IV. Severability.

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

ORDINANCE NO. 2635
PAGE 2

Section V. The Community Development Director is hereby authorized to amend the Future Land Use to comply with this ordinance.

Section VI. Effective Date. This Ordinance shall become effective upon adoption.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this 4th day of April, 2018.

READ FIRST TIME: March 21, 2018

READ SECOND TIME
AND ADOPTED: April 4, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR HEARING: March 2, 2018
March 23, 2018

EXHIBIT "A"



ORDINANCE NO. 2635
Kenney Harry Charles McAllister
Small Scale Future Land Use Amendment:
From: "County" Rural (1 du\ 10 ac)
To: "City" Commercial (max 0.25 FAR)
Parcel ID #: 01-21-27-0000-00-001
Acreage: 2.45 +/-





CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: April 4, 2018
FROM: Community Development
EXHIBITS: Zoning Report
Vicinity Map
Zoning Map
Adjacent Uses Map
Ordinance No. 2636

SUBJECT: ORDINANCE NO. 2636 – CHANGE OF ZONING – KENNEY HARRY CHARLES MCALLISTER

REQUEST: SECOND READING – ORDINANCE NO. 2636 – CHANGE OF ZONING – KENNEY HARRY CHARLES MCALLISTER – FROM “COUNTY” A-1 (ZIP) TO “CITY” PLANNED UNIT DEVELOPMENT (PUD/ COMMERCIAL)

SUMMARY:

OWNER: Kenney Harry Charles McAllister
APPLICANT: Tannath Design, Inc., c/o Bryan Potts, P.E.
LOCATION: Northwest corner of N. Hermit Smith Rd and U.S. 441 road intersection
PARCEL ID NUMBER: 01-21-27-0000-00-001
EXISTING USE: Vacant-Woodlands
CURRENT ZONING: “County” A-1
DEVELOPMENT POTENTIAL: Maximum 482 sq. ft. commercial use (Max. 0.25 floor area ratio)
PROPOSED ZONING: “City” PUD (Planned Unit Development) (Note: this Change of Zoning request is being processed along with a request to amend the Future Land Use from “County” Rural (0-10 du/ac) to Commercial (Max. 0.25 FAR) and an application for annexation.
TRACT SIZE: 0.04 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: Vacant
PROPOSED: Up to 479 sq. ft.

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” zoning category. The applicant is requesting the City to assign a zoning classification of PUD (Planned Unit Development) to the property, which will be incorporated with the PUD in the north adjacent parcel. The subject parcel was annexed into the city on January 17, 2018 by Ordinance Number 2627.

A request to assign a change of zoning to PUD is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The change of zoning request is being processed in conjunction with a future land use amendment from “County” Rural to “City” Commercial.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed Commercial (Max. 25% Floor Area Ratio) Future Land Use designation and the City’s proposed Planned Unit Development Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

PUD CONDITIONS OF APPROVAL:

1. This Planned Unit Development will be incorporated to the final development plan for adjacent PUD, located at 1102 Hermit Smith Rd, through a parcel consolidation.
2. The use for this property shall be used only for open space and landscape buffering for the north adjacent development at 1102 Hermit Smith Road (Parcel No. 36-20-27-0000-00-024)

SCHOOL CAPACITY REPORT: As the proposed use of the site is for landscaping and open space for a commercial use, no impact will occur to school enrollment for public schools.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on February 12, 2018.

PUBLIC HEARING SCHEDULE:

Planning Commission, March 13, 2018 (5:30 pm)
City Council, March 21, 2018 (7:00 pm) - 1st Reading
City Council, April 4, 2018 (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 23, 2018 - Public Notice and Notification- (Apopka Chief, letter, posting)
March 23, 2018 - Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” A-1 to “City” PUD for the property owned by Kenney Harry Charles McAllister, and located at 3591 W. Orange Blossom Trail.

The **Planning Commission**, at its meeting on March 13, 2018, found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, and recommended approval of the proposed Change of Zoning from “County” A-1 to “City” PUD for the property owned by Kenney Harry Charles McAllister, and located at 3591 W. Orange Blossom Trail.

The **City Council**, at its meeting on March 21, 2018, accepted the first reading of Ordinance 2636, and held it over for second reading and adoption on April 4, 2018.

Recommended Motion: Adopt Ordinance 2636.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	“County” Rural	“City” A-1 (ZIP)	Woodlands\Proposed RaceTrac
East (City)	“County” Rural	A-1 (ZIP)	Woodlands/Grasslands
South (County)	Rural (1 D/U per 10 Acres)	“County” C-3 & R-3	Single-Family Homes
West (City)	“County” Rural	“County” A-1 (ZIP)	Woodlands

LAND USE & TRAFFIC

COMPATIBILITY:

The concept plan for the PUD proposes accesses on West Orange Blossom Trail and Hermit Smith Road.

COMPREHENSIVE PLAN

COMPLIANCE:

The proposed PUD zoning is consistent with the proposed Future Land Use designation, “Commercial” (Max. 25% FAR) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

BUFFERYARD

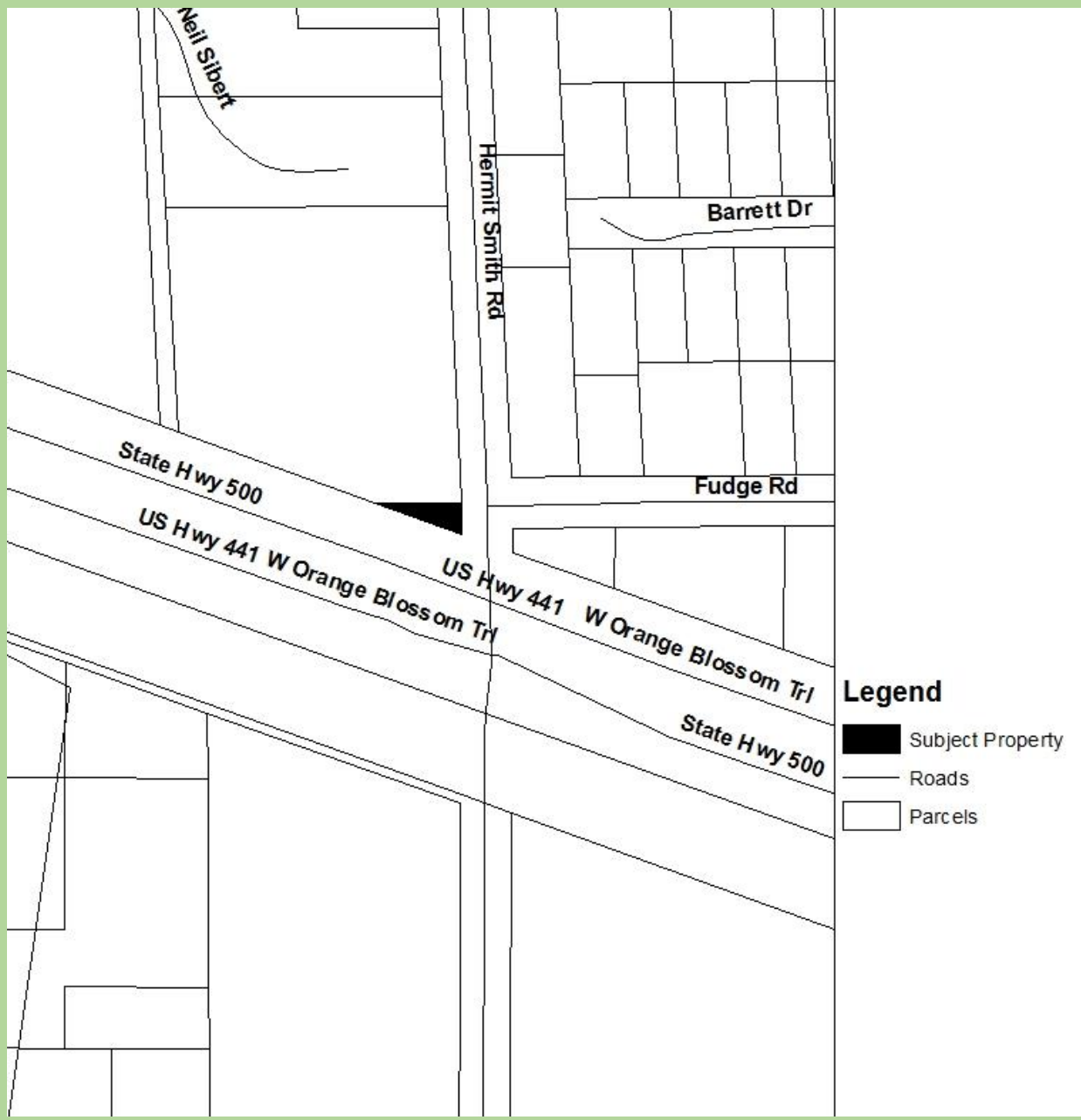
REQUIREMENTS:

1. Areas adjacent to all road rights-of-way shall provide a minimum ten-foot landscaped bufferyard.
2. Areas adjacent to agricultural and residential uses or districts shall provide a minimum six-foot-high masonry wall within a ten-foot landscaped bufferyard.
3. Areas adjacent to nonresidential uses or districts shall provide a minimum of five-foot landscaped bufferyard.
4. Landscaping requirements for existing platted lots of record and structures may be approved in a lesser amount than required after review by the development review committee.



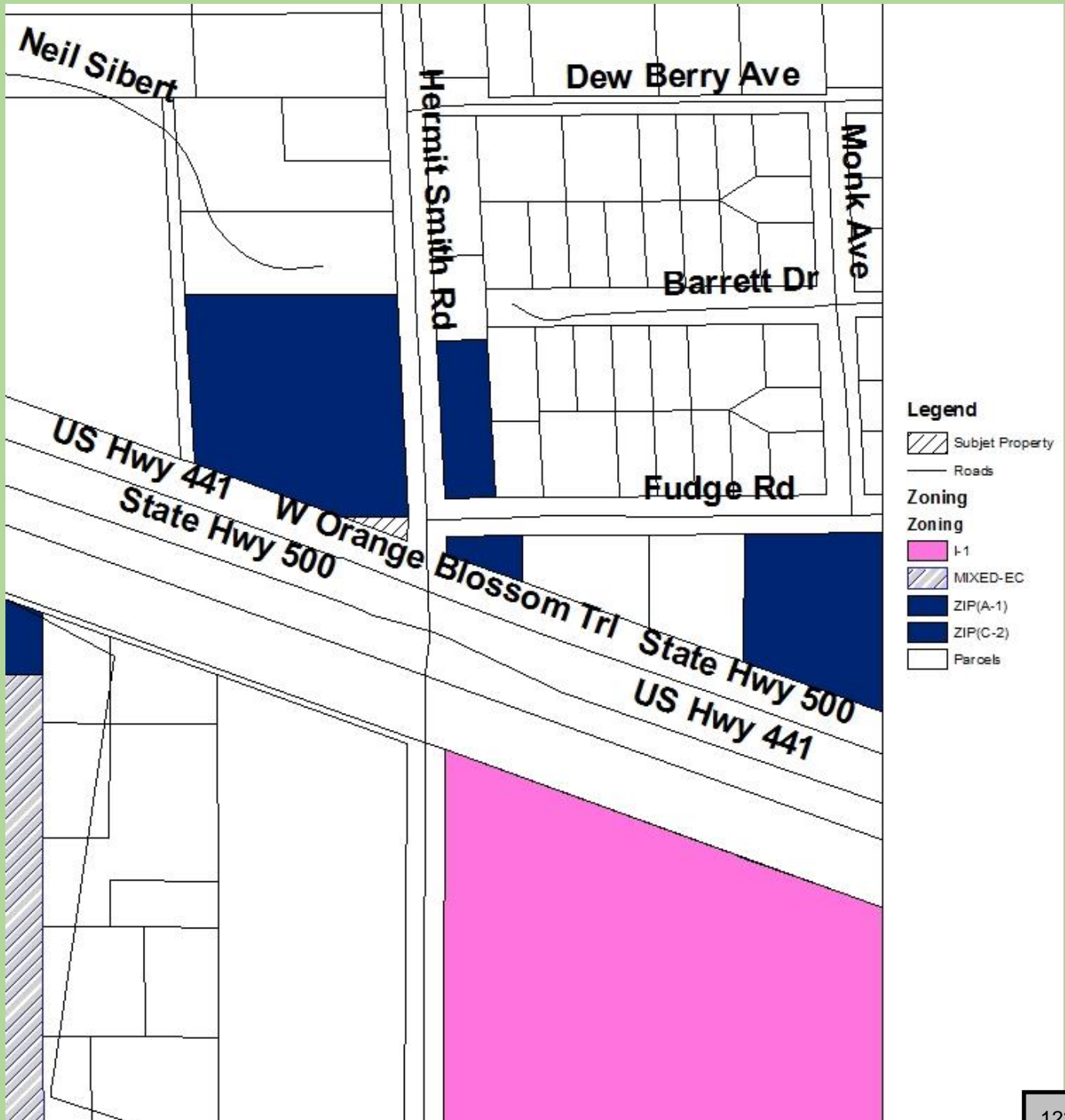
Kenney Harry Charles McAllister
0.04 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: “County” Rural
To: “City” Commercial
Proposed Change of Zoning:
From: A-1 (ZIP)
To: PUD
Parcel ID #: 01-21-27-0000-00-001

VICINITY MAP





ADJACENT ZONING MAP





ADJACENT USES MAP



ORDINANCE NO. 2636

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 TO “CITY” PLANNED UNIT DEVELOPMENT (PUD/COMMERCIAL) FOR CERTAIN REAL PROPERTY LOCATED AT 3591 W ORANGE BLOSSOM TRAIL, COMPRISING 0.04 ACRES MORE OR LESS, AND OWNED BY KENNEY HARRY CHARLES MCALLISTER; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/Commercial) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be:
 - 1. This Planned Unit Development will be incorporated to the final development plan for the adjacent property, located at 1102 Hermit Smith Road;
 - 2. At the time of the Final Development Plan application for the abutting property at 1102 Hermit Smith Road, the subject parcel and the abutting parcel under the same ownership shall be assembled through a parcel consolidation so the two parcels become one parcel.
 - 3. The use for this property shall be used only for open space and landscape buffering for the for the abutting property (Parcel No. 36-20-27-0000-00-024) that is subject to Ordinance Number 2620 (adopted February 7, 2018);
- B. The requisite Master Plan shall be submitted with or as part of the Final Development Plan application for the abutting property subject to Ordinance Number 2620;
- C. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:
 - 1. Permit a single six-month extension for submittal of the required Final Development Plan;

ORDINANCE NO. 2636

PAGE 2

2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/Commercial), as defined in the Apopka Land Development Code.

Legal Description:

NE ¼ OF NW ¼ N OF HIWAY (LESS E FT FOR RD & LESS ST RD) IN SEC 01-21-27
Parcel I.D.: 01-21-27-0000-00-001
Contains: 0.04 +/- Acres

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon adoption of Ordinance No. 2635.

READ FIRST TIME: March 21, 2018

READ SECOND TIME
AND ADOPTED: April 4, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED:

February 23, 2018; March 23, 2018



Kenney Harry Charles McAllister

0.04 +/- acres

Proposed Small Scale Future Land Use Amendment:

From: "County" Rural

To: "City" Commercial

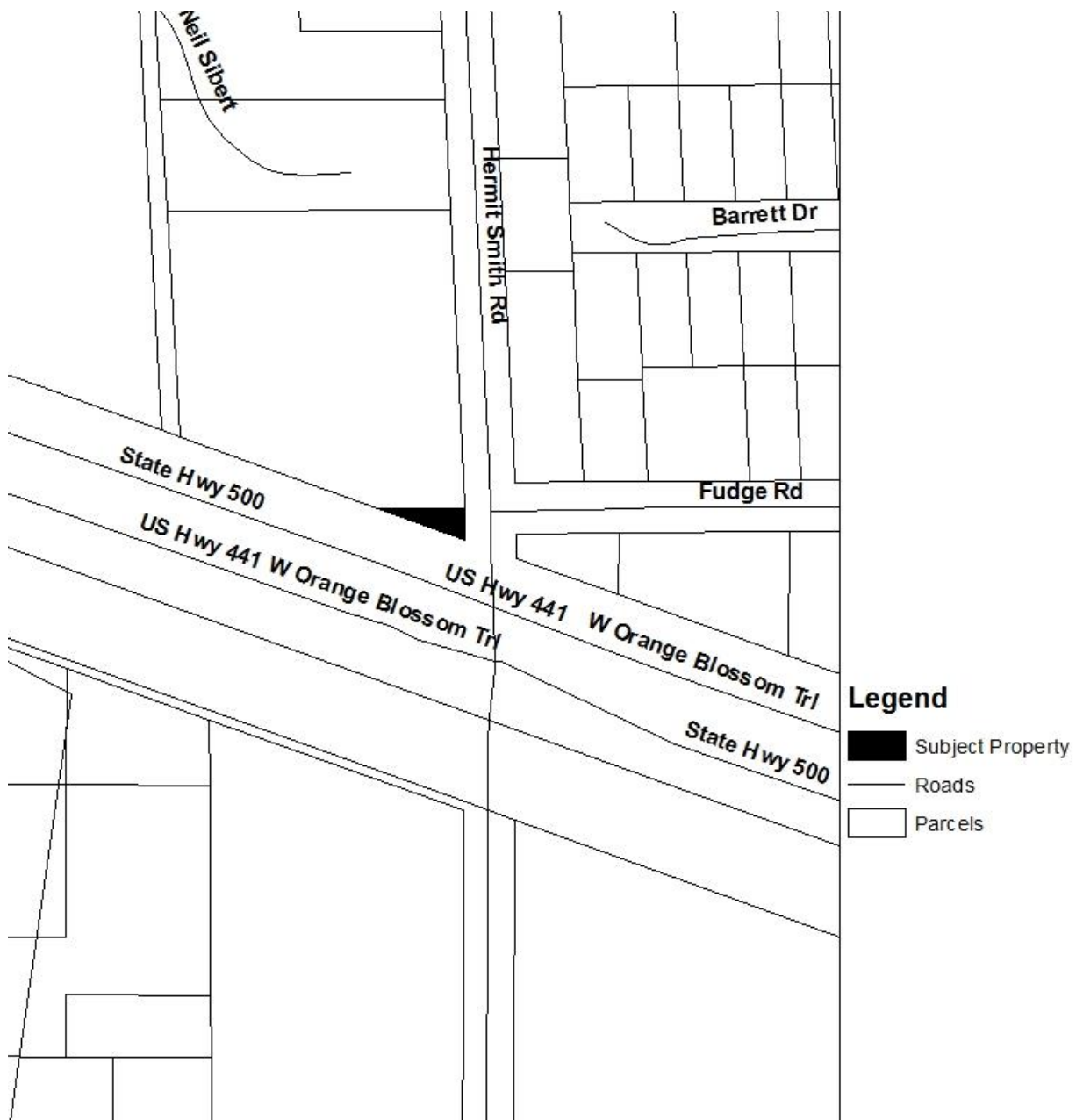
Proposed Change of Zoning:

From: A-1 (ZIP)

To: PUD

Parcel ID #: 01-21-27-0000-00-001

VICINITY MAP





**CITY OF APOPKA
CITY COUNCIL**

- ____ CONSENT AGENDA
- X PUBLIC HEARING
- ____ SPECIAL REPORTS
- X OTHER: PUD Master Plan

- MEETING OF: April 4, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Use Map
 Ordinance No. 2637
 Ex. A – Phase 1 Master Plan
 Ex. B – Phase 1 Development Standards
 Ex. C – Phase 1 Landscape/Rec. Plan
 Ex. D – Phase 2 Master Plan
 Ex. E – Phase 2 Development Standards
 Ex. F – Phase 2 Landscape Plan

SUBJECT: ORDINANCE NO. 2637 - CHANGE OF ZONING – LAKE MARSHALL SUBDIVISION, PHASES 1 AND 2

REQUEST: SECOND READING OF ORDINANCE NO. 2637 – CHANGE OF ZONING – LAKE MARSHALL SUBDIVISION, PHASES 1 AND 2, FROM PLANNED UNIT DEVELOPMENT, MIXED-EC, AND I-1 TO PLANNED UNIT DEVELOPMENT; AND HOLD OVER FOR SECOND READING & ADOPTION; AND APPROVE THE LAKE MARSHAL PUD MASTER PLAN\PRELIMINARY DEVELOPMENT PLAN.

SUMMARY:

- OWNERS: City of Apopka, James D & Deborah M. Lyda, and Citizens Bank of Florida
 APPLICANT: Appian Engineering, LLC
 LOCATION: South of Marshall Lake and West of SR 451
 PARCEL ID #S: 28-21-08-0000-00-005; 28-21-08-0000-00-043; 28-21-17-0000-00-014
 EXISTING USE: Vacant
 FLUM DESIGNATION: Low Density Residential, Mixed-Use
 CURRENT ZONING: PUD (Planned Unit Development), Mixed-EC (Mixed Employment Center), and I-1 (Restricted Industrial)
 PROPOSED DEVELOPMENT: 301 single family homes; developed in two phases
 PROPOSED ZONING: Planned Unit Development (PUD)
 TRACT SIZE: 154.18 +/- acres

FUNDING SOURCE: N/A

DISTRIBUTION

- | | | |
|--------------------------------|------------------|--------------------------|
| Mayor Kilsheimer | Finance Director | Public Services Director |
| Commissioners | HR Director | Recreation Director |
| City Administrator | IT Director | City Clerk |
| Community Development Director | Police Chief | Fire Chief |

ADDITIONAL INFORMATION: The subject property is approximately 154.17 acres in size and is zoned PUD (Planned Unit Development), Mixed-EC (Mixed Employment Center) and I-1 (Restricted Industrial), and has a future land use designation of Low Density Residential and Mixed-Use. The subject property is comprised of three parcels and is located south of Marshall Lake and west of SR 451. The owners of the properties are the City of Apopka, James D. and Deborah M. Lyda, and Citizens Bank of Florida. Of the 154.17 acres, the City of Apopka owns 103 acres, Citizens Bank of Florida owns 39.9 acres, and Mr. and Mrs. Lyda own 11.28 acres. The proposed change of zoning to PUD is being requested by a representative of the prospective developer, Royal Oak Homes who proposes to construct 301 single-family units in two phases on the three parcels.

On November 15, 2006, the City Council approved development of 102 single-family units on 83.28 acres of the property now owned by the City. This development received City Commission approval and subsequently was never developed. In 2007, the City of Apopka purchased the property. In 2017 after an advertised bid process, Royal Oak Homes agreed to purchase the property from the City contingent upon City Commission approval of a PUD rezoning and Preliminary Development Plan for the proposed development.

PROJECT DESCRIPTION: The PUD Master Plan and Preliminary Development Plan propose development of the property in two phases as a private, gated residential community with a total of 301 single-family homes. The subject property is located south of Marshall Lake and west of SR 451. The surrounding properties consist primarily of single-family residential, and agricultural uses. The development is proposed to be accessed via Johns Road. Adjacent to the west of the subject property is the Breckenridge subdivision. A gated access for emergency vehicle access will be provided between the two subdivisions. This access point will only be for emergency vehicles. In response to the Breckenridge homeowners association, pedestrian access will not be permitted between the two subdivisions.

A. Lot Size.

Typical Lot Width	Number of units	Percentage of development	Typical lot area (minimum size)
55-feet	119	39%	7,425 square feet
60-feet	149	50%	8,100 square feet
75-feet	33	11%	10,875 square feet
Total	301	100%	

The developer is proposing 55-foot, 60-foot and 75-foot wide lots with a minimum average lot area of 7,425 square feet for the 55-foot wide lots, 8,100 square feet for the 60-foot wide lots, and 10,875 square feet for the 75-foot wide lots. The minimum lot depth is proposed at 135-feet. The minimum living area is proposed at 1,800 square feet in Phase 1 and 1,600 square feet in Phase 2. Both phases of the subdivision will be accessed via Johns Road. Johns Road will terminate at the main entrance of the development, which will be accessed via a gate. The developer will be dedicating a 0.27 acre portion of right-of-way along Johns Road to the City. The subdivision will consist of private roads and infrastructure that is owned and maintained by the homeowners association.

B. Deviations. The applicant is requesting four deviations to the City’s required development standards. For a PUD master plan, a deviation from the City’s Land Development Code does not represent a variance but a development standard or zoning condition unique to and approved as part of the Plan Unit Development zoning. PUD’s are required to satisfy the requirements of the land Development Code.

unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. Typical Lot Width Standard. The first deviation is to Land Development Code Section 2.02.18.D.11, which requires a minimum lot size within a PUD to be 70-feet in width, and to have a minimum site area of 7,500 square feet. In addition to 75-foot wide lots, the developer is proposing 60-foot and 55-foot wide lots with minimum lots sizes of 8,100 square feet and 7,425 square feet respectively.
 2. Garage Standards. The second deviation requested is from Section 3.2.1 of the Development Design Guidelines which requires front-entry garages to be setback a minimum of thirty (30) feet from the front property line. The Master Plan provides a 25-foot setback for front entry garages. Based on the shape of the property and the lot yield that the applicant has indicated is necessary for financial feasibility, a 25-foot garage setback will potentially result in a larger back yard.
 3. Architectural Design. The third deviation requested is from Section 3.2.1 of the Development Design Guidelines, an architectural appearance standard, which requires front entry garages to be flush with or behind the primary residential façade. The applicant is proposing protruding garages in addition to side-entry, flush, and recessed garages. The applicant contends that providing the protruding garage options in addition to side-entry, flush, and recessed garages will help to break up the monotony of each home being offset the same distance from the sidewalk.
 4. Architectural Design. The fourth deviation requested is from Section 3.2.1 of the Development Design Guidelines, which requires front entry garages to comprise no more than 50 percent of the length of a residential structure’s frontage. The applicant is requesting to permit all 60-foot wide lots with 50-foot wide homes to allow for the garage to cover a maximum of 60 percent of the length of the front primary façade only in the case a three (3) car garage is selected by the homebuyer. The Development Design Guidelines allow a three car front-entry garage to comprise more than 50 percent of the front façade length if one (1) habitable floor is located over the majority of the garage, or (2) an architectural feature such as dormers that give an appearance of an occupied floor above the garage are provided. The prospective homebuilder is currently finalizing the architectural package for the development, and is not certain whether the homes with three (3) car garages will have a habitable floor over the majority of the garage or an architectural feature that gives the appearance of habitable space such as a dormer will be provided.
- C. Justification for Deviations\Development Standard. The following justifications are provided for the four deviations that are proposed.
1. An improved recreation amenities package is proposed. The recreation package will consist of a cabana with restrooms, a swimming pool, a playground, and a mixed-use active field at a minimum. In addition the developer is dedicating a tract in Phase 1 adjacent to Marshall Lake as a Community Lake Park that will have a community dock, and a 1.03 acre open space tract across the street from this park. In the Phase 2 area, two tracts will be dedicated as a park/open space area, and a 15.12 acre Conservation area will also be dedicated.
 2. Protection of Environmentally Sensitive Areas and Preservation of Open Space. The PUD ma plan protects wetlands within the northwest and northeast corners of the project bounda

containing approximately 19 acres within Tracts “K” and “L” of Phase I. Open space is preserved through approximately 15 acres within Tract “I” of Phase 2.

3. **Abutting Site Characteristics.** Fifty-foot landscape buffer. An existing 50-foot landscape buffer occurs along the western and northern project line within the Breckenridge plat. This buffer is noted as a tract on the Breckenridge plat. The Lake Marshall development will not be visible from the homes within Breckenridge and separation between the larger lots in Breckenridge and the smaller lots within Lake Marshall PUD will be provided. S.R. 451 (tollway) abuts a significant portion of the eastern project line, making the area less attractive for large lot residential development.
4. The Master Plan proposes a diversity of lot sizes-- (55-feet, 60-feet, and 75-feet lot widths).
5. Access to the site is limited because of lake and wetland systems to the north and an odd shape parcel to the south. The southern end of the property is also blocked by a wetland system. Therefore, access to the property is severely limited, leaving Johns Road as the only reasonable access point without impacting environmentally sensitive areas.
6. The Master Plan proposes a gated residential community with private roads and infrastructure.

TRANSPORTATION: The traffic generated by this project will cause a reduced level of service at the intersection of Johns Road and Bradshaw Road and the intersection of Bradshaw Road and Ocoee Apopka Road. The intersection of Johns Road and Bradshaw Road will require the following roadway improvements to be constructed prior to the issuance of the 87th Certificate of Occupancy for Phase 1, Phase 2, or a combination of Phase 1 and Phase 2:

1. A 260- foot northbound left turn lane;
2. A 185-foot southbound right turn lane; and
3. A 150-foot eastbound turn lane.

The intersection of Bradshaw Road and Ocoee Apopka Road is projected to experience significant delays at the stop sign with the addition project traffic and committed traffic on both roadways. While existing conditions do not warrant a signal, the intersection may meet warrants in the future. It is recommended the Developer be required to conduct a signal warrant analysis for the intersection of Bradshaw Road and Ocoee Apopka Road prior to the issuance of the 251st Certificate of Occupancy. If it is determined a signal is warranted, then a proportionate share value shall be coordinated between the City and the Developer to design and install a traffic signal at the intersection within a year of the issuance of the final Certificate of Occupancy.

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Low Density Residential and Mixed-Use Future Land Use designations and is consistent with the Land Development Code.

SCHOOL CAPACITY REPORT: An application for School capacity determination and a mitigation agreement has been submitted to OCPS by the application. A plat will not be recorded by the City until such time the School Board approves a school capacity mitigation agreement.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County is not required for a rezoning application as the subject parcels are not adjacent to unincorporated Orange County.

PUBLIC HEARING SCHEDULE:

February 13, 2018 - Planning Commission (5:30 pm)
March 21, 2018 - City Council (7:00 pm) - 1st Reading
April 4, 2018 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 2, 2018 – Public Notice; Letter, Poster
February 23, 2018 – Public Notice (Apopka Chief)
March 23, 2018 – Public Notice (Apopka Chief)

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed rezoning to Planned Unit Development (PUD), PUD Master Plan, and the Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Lake Marshall Subdivision Planned Unit Development Master Plan and Preliminary Development Plan.

The **Planning Commission**, at its meeting held on February 13, 2018, found the proposed rezoning consistent with the Comprehensive Plan and Land Development Code; and recommended approval (4-2) of the rezoning of the subject parcels from Planned Unit Development (PUD), Mixed-EC (Mixed Employment Center) and I-1 (Restricted Industrial) to Planned Unit Development/Residential (PUD); and approval of the PUD Master Plan\Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits.

The City Council, at its meeting on March 21, 2018, accepted the First Reading of Ordinance 2637 and held it over for Second Reading and Adoption on April 4, 2018; and approved the PUD Master Plan\Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits subject to the following changes to the Master Plan\Preliminary Development Plan:

1. Use of watercraft shall be permitted only by the owners and occupants of direct lake front lots
2. If any boat launch area is located within the common area, it shall be restricted by a separate locking gate that only lake front owners shall have access, and only lake front owners may use such access.
3. The retaining wall shall be acceptable as permitted per the Master Site Plan\PDD;
4. The emergency access easement to be granted by Breckinridge HOA will be limited only to the use of the city for emergency access and shall revert back to the property owners on either side of the access point should it ever cease to be used for emergency access.

City Council Second Hearing: Adopt Ordinance 2637 and approve the Lake Marshal PUD Master Plan\Preliminary Development Plan.

[**Note:** Ordinance 2637 includes the four additional development and use standards approved by City Council at the March 21, 2018 public hearing for the first reading.]

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Low Density Residential (0-5 du/ac)	R-3	Marshall Lake, Lake Doe Estates subdivision
East (City)	Industrial, None assigned (SR 451 right-of-way)	I-1, no zoning assigned	Existing agricultural use (John’s Nursery), SR 451 right-of-way
South (City)	Low Density Residential (0-5 du/ac), Commercial (max 0.25 FAR)	R-1A, C-1	Vacant property, SR 451 retention pond
West (City)	Low Density Residential (0-5 du/ac)	R-1A, R-2, PUD	Breckenridge residential subdivision buffer tract, vacant property

LAND USE &

TRAFFIC COMPATIBILITY:

The property is accessed via Johns Road, which connects to South Bradshaw Road. Internal streets are private and are proposed to be owned and maintained by a yet to be established homeowners association. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed PUD zoning is compatible with policies set forth in the Comprehensive Plan.

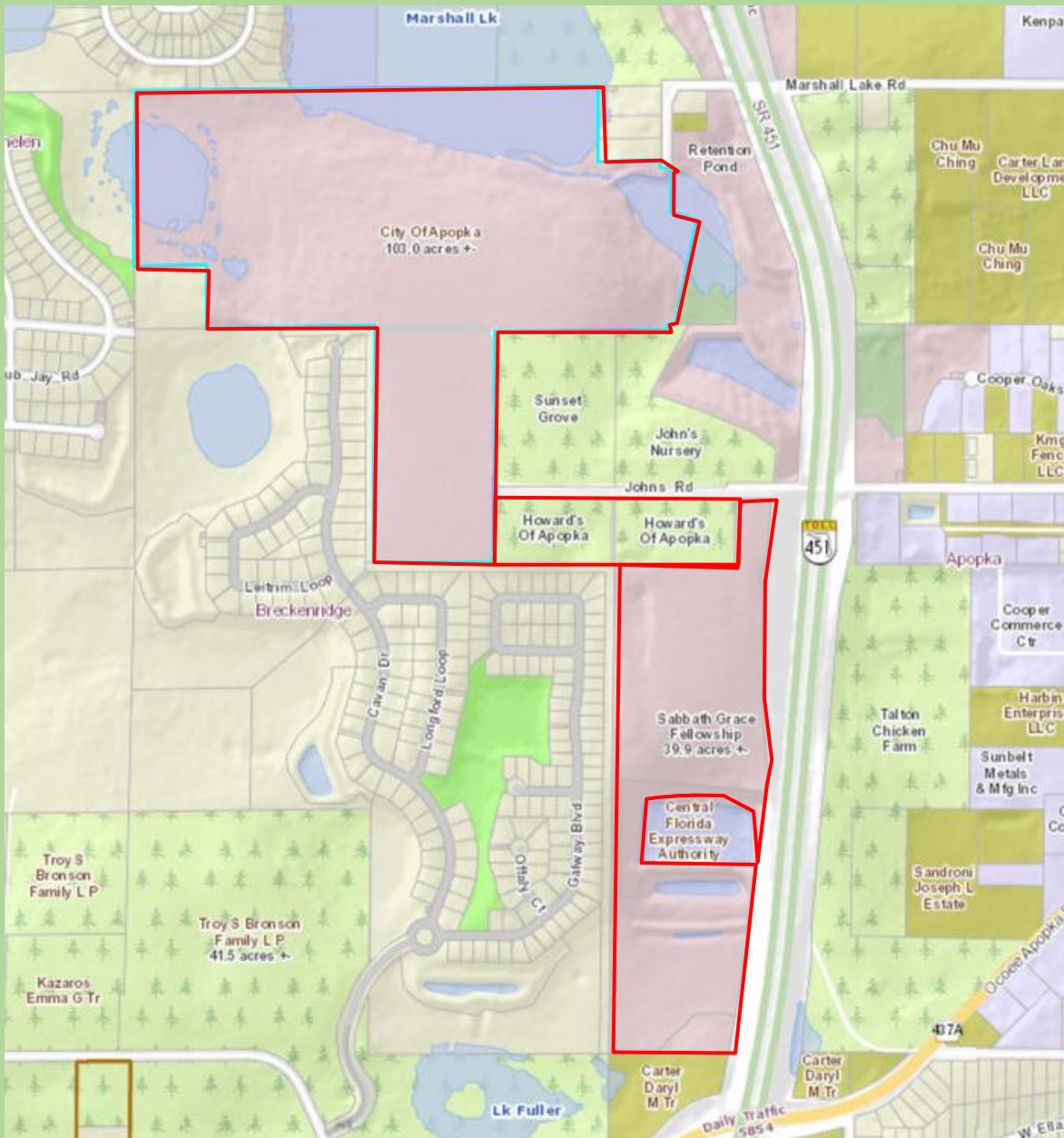
ALLOWABLE USES:

Single-family residential uses as set forth within the Planned Unit Development Master Plan.

Project: LAKE MARSHALL SUBDIVISION, PHASES 1 & 2
Owned by: City of Apopka; James D. & Deborah Lyda; and Citizens Bank of Florida
Located: North and south of Johns Road; west of SR 451
Parcel ID#s: 08-21-28-0000-00-005; 08-21-28-0000-00-043; 17-21-28-0000-00-014

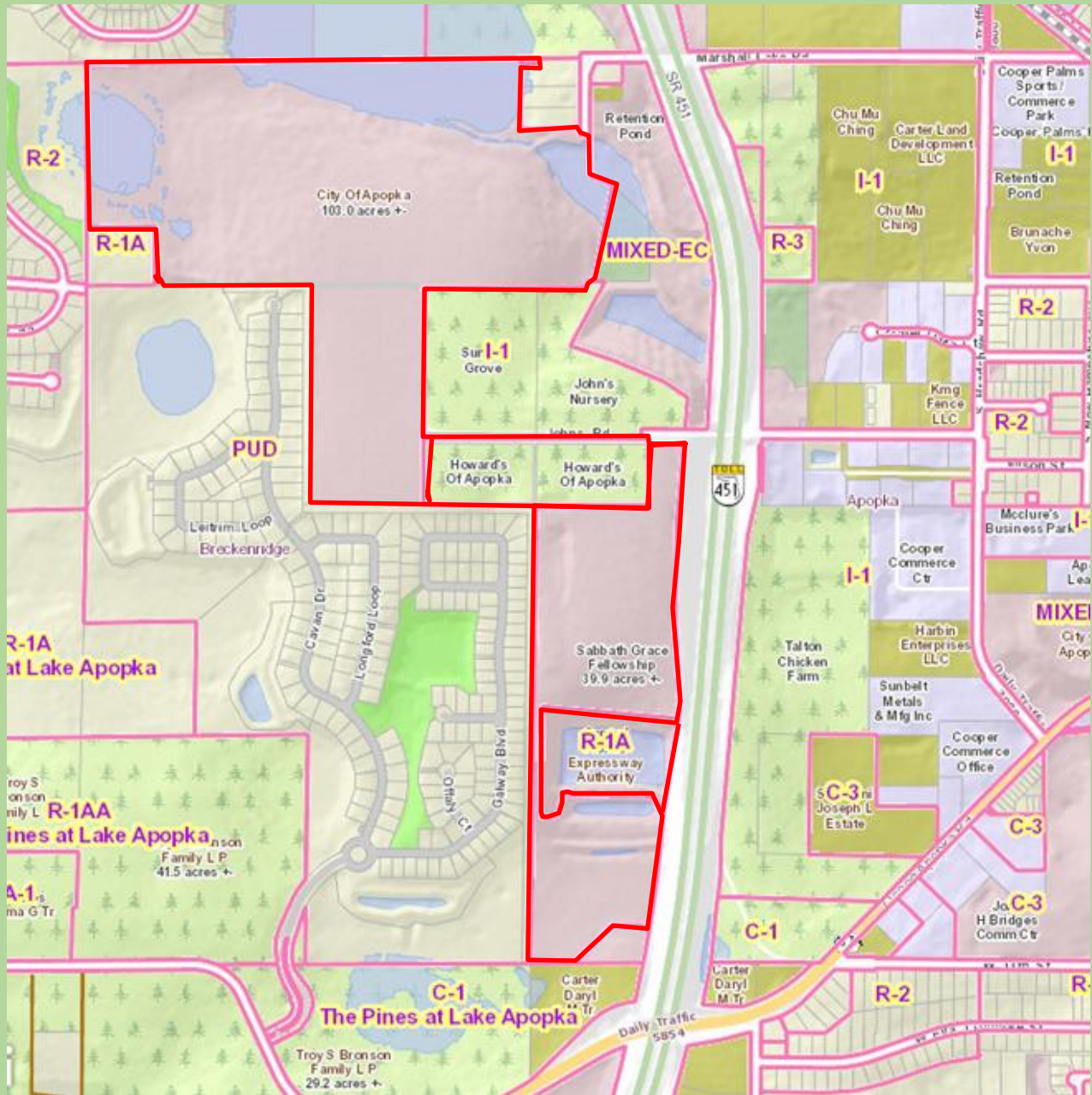


VICINITY MAP

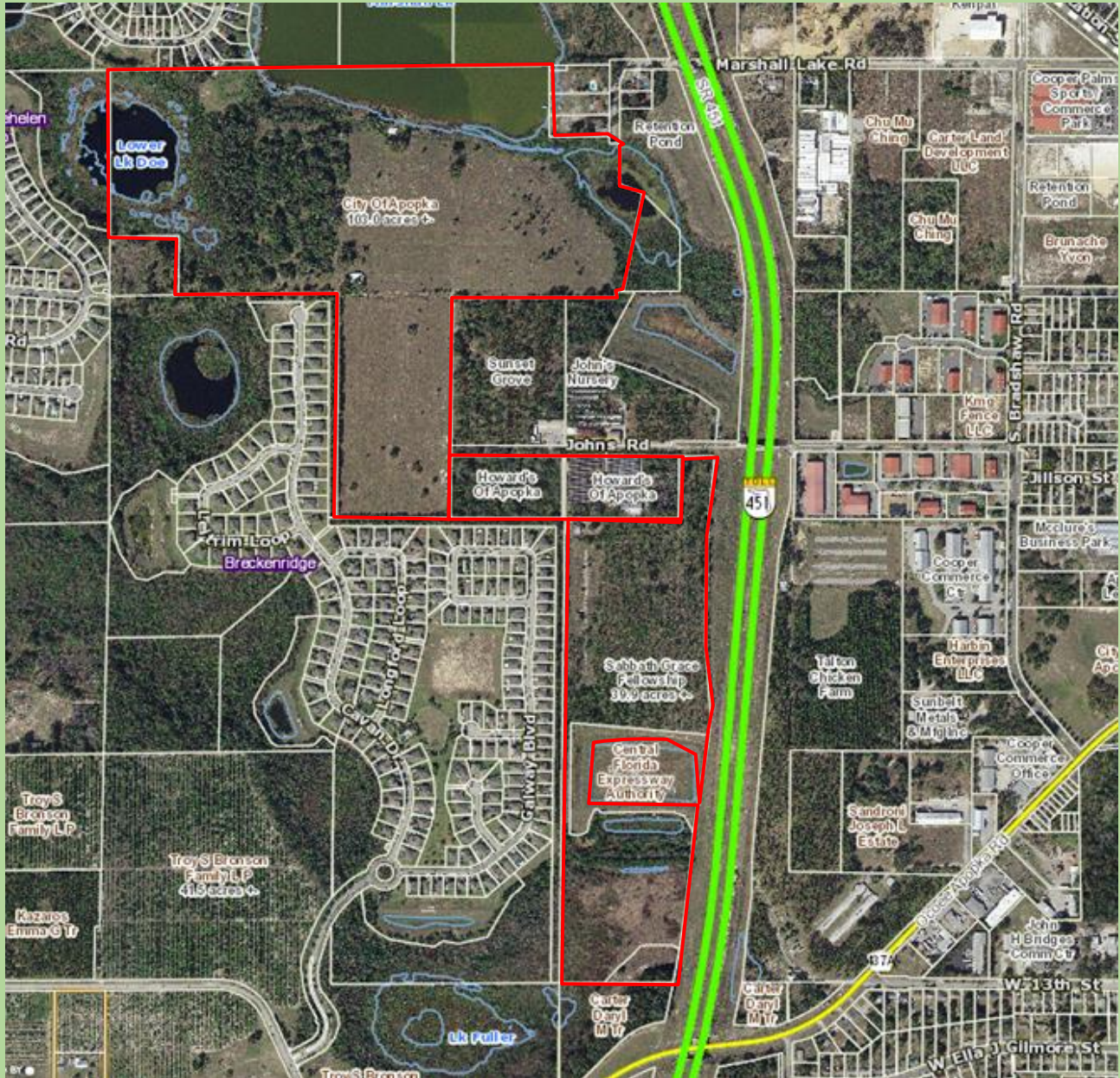




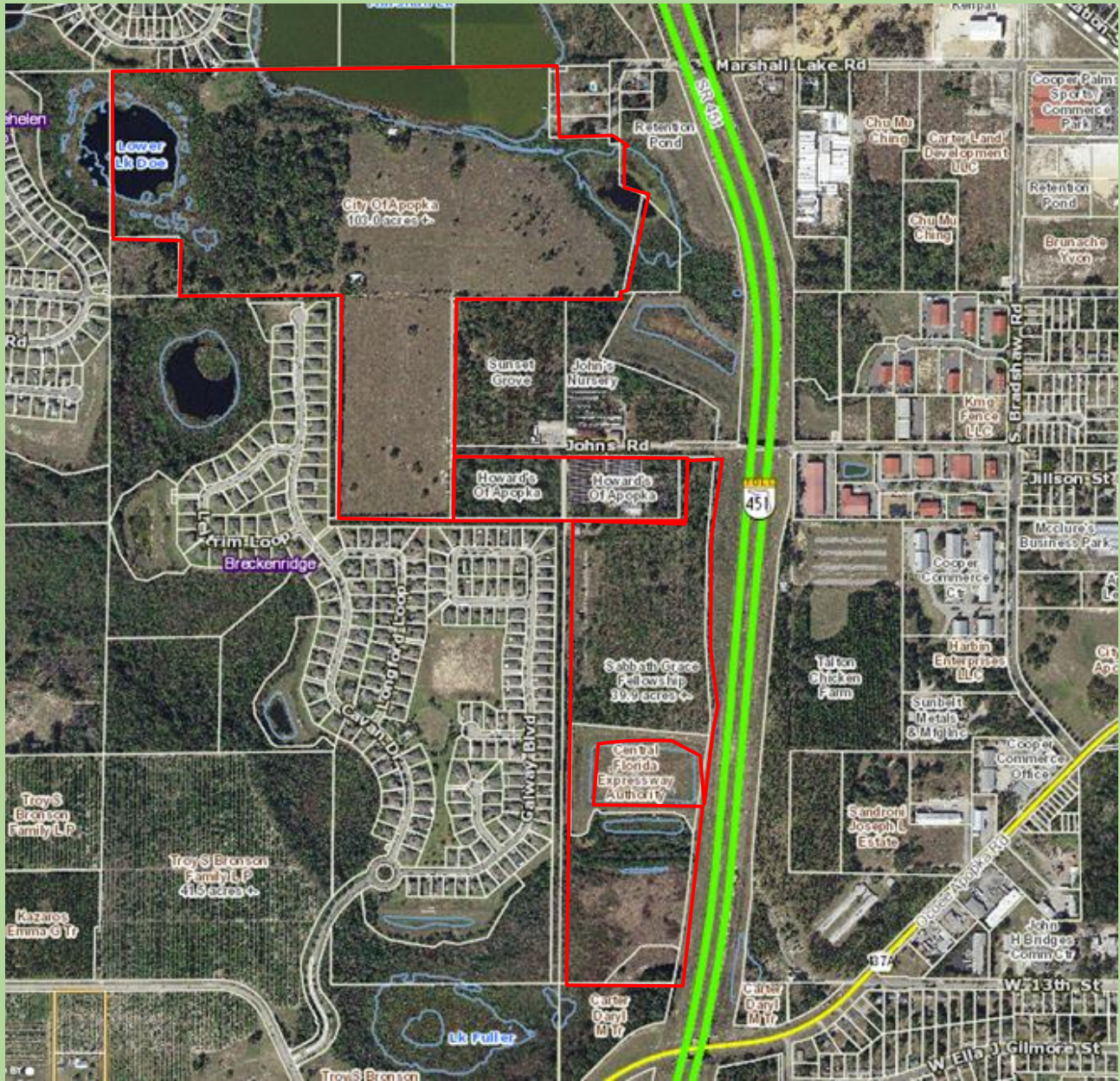
ADJACENT ZONING



ADJACENT USES



EXISTING USES



ORDINANCE 2637

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM PUD (PLANNED UNIT DEVELOPMENT), MIXED-EC (MIXED EMPLOYMENT CENTER), AND I-1 (RESTRICTED INDUSTRIAL) TO PLANNED UNIT DEVELOPMENT/RESIDENTIAL (PUD) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF MARSHALL LAKE AND WEST OF SR 451, COMPRISING 154.18 ACRES MORE OR LESS, AND OWNED BY THE CITY OF APOPKA, JAMES D. & DEBORAH M. LYDA, AND CITIZENS BANK OF FLORIDA; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, The City of Apopka, James D. & Deborah M. Lyda, and Citizens Bank of Florida has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Site Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be: single family homes and associated accessory uses or structures consistent with land use and development standards established for the PUD district except where otherwise addressed in this ordinance and the Master Site Plan.
- B. Development of the property shall occur consistent with the Master Site Plan set forth in Exhibit "A". If a development standard or zoning regulation is not addressed within Exhibit "A", development shall comply with the PUD zoning standards set forth in the Land Development Code. Where any development standard conflicts between the Lake Marshall Master Plan/Preliminary Development Plan and the Land Development Code, the Master Plan/Preliminary Development Plan shall prevail. Any proposed revision to the Master Plan/Preliminary Development Plan shall be evaluated and processed pursuant to Section 2.02.18.N. (Master Plan revision), LDC.
- C. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan/Preliminary Development Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Site Plan provisions and any conditions of approval; or
 3. Rezone the property to a more appropriate zoning classification.
- D. The intersection of Johns Road and Bradshaw Road will be significantly impacted by the addition of traffic generated by this project. Design plans for the following improvements will be included in the Final Development Plan for Phase 2 of the development. The roadway improvements shall be constructed by the developer prior to the issuance of the 87th Certificate of Occupancy for Phase 1, Phase 2, or a combination of Phase 1 and Phase 2, according to City standards:
1. A 260-foot northbound left turn lane;
 2. A 185-foot southbound right turn lane; and
 3. A 150-foot eastbound turn lane.
- E. The intersection of Bradshaw Road and Ocoee Apopka Road will be significantly impacted by the addition of traffic generated by this project. Prior to the issuance of the 251st Certificate of Occupancy, the developer will conduct a signal warrant analysis for the intersection of Bradshaw Road and Ocoee Apopka Road. Since Ocoee-Apopka Road is an Orange County controlled road and Bradshaw Road is a City controlled road, the City, in cooperation with the County, will determine if a signal is warranted. If a signal is warranted, then a proportionate share value shall be coordinated between the City and the Developer to design and install a traffic signal at the intersection within a year of the issuance of the final Certificate of Occupancy.
- F. Additional Master Plan\PDP Development and Use Standards:
1. Use of watercraft shall be permitted only by the owners and occupants of direct lake front lots.
 2. If any boat launch area is located within the common area, it shall be restricted by a separate locking gate that only lake front owners shall have access, and only lake front owners may use such access.
 3. The retaining wall shall be acceptable as permitted per the Master Site Plan\PDD;
 4. The emergency access easement to be granted by Breckinridge HOA will be limited only to the use of the city for emergency access and shall revert back to the property owners on either side of the access point should it ever cease to be used for emergency access.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/R-1A) as defined in the Apopka Land Development Code.

Legal Description: Attachment "A"

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: March 21, 2018

READ SECOND TIME
AND ADOPTED: April 4, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED: February 2, 2018
February 23, 2018
March 23, 2018

**ATTACHMENT "A"
LEGAL DESCRIPTION**

**Parcel ID Nos.: 28-21-08-0000-00-005; 28-21-08-0000-00-043; 28-21-17-0000-00-014
Combined Acreage: 154.18 +/- Acres**

OCA PARCEL ID 28-21-08-0000-00-005:

FIRST AMERICAN TITLE FILE NUMBER: 2037-3759052 - THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LESS: BEGIN AT SOUTHWEST CORNER OF NORTHEAST 1/4 OF SOUTHWEST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN NORTH 343 FEET, EAST 400 FEET, SOUTH 343 FEET, WEST 400 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

PARCEL 2:

WEST 1/2 OF THE NORTHWEST 1/4 OF SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

AND

BEGIN AT THE NORTHWEST CORNER OF THE EAST HALF OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN NORTH 89°33'48" EAST 950 FEET; THENCE SOUTH 00°30'54" WEST 35 FEET; THENCE SOUTH 89°33'48" WEST 950 FEET; THENCE NORTH 00°30'54" EAST 35 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

AND

THE EAST HALF OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, ALSO THAT PORTION OF THE SOUTH 12 ACRES OF THE WEST HALF OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 SOUTH OF CENTER LINE OF LAKE, LESS THE FOLLOWING DESCRIBED PARCEL: BEGIN AT THE SOUTHEAST CORNER OF THE WEST HALF OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN SOUTH 89°33'48" WEST ALONG THE SOUTH LINE OF SAID WEST HALF 328.92 FEET; THENCE NORTH 11°16'48" EAST 580 FEET TO THE CENTRAL LINE OF LAKE; THENCE SOUTH 44°53'28" EAST ALONG CENTRAL LINE OF LAKE, 306.45 FEET TO THE EAST LINE OF SAID WEST HALF; THENCE SOUTH ALONG EAST LINE OF SAID WEST HALF 350 FEET TO POINT OF BEGINNING, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, AND COMMENCE EAST 1/4 CORNER OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN THENCE SOUTH 89°30'41" WEST 1070.14 FEET, SOUTH 00°18'05" WEST 388.7 FEET TO THE POINT OF BEGINNING; RUN THENCE SOUTH

ORDINANCE NO. 2637

PAGE 5

00°18'05" WEST 25 FEET; THENCE SOUTH 89°30'41" WEST 247.92 FEET; THENCE SOUTH 00°21'52" WEST 115.13 FEET; THENCE NORTH 89°30'41" EAST 307.92 FEET; THENCE NORTH 00°18'05" EAST 140.13 FEET; THENCE WEST TO POINT OF BEGINNING, LESS SOUTH 383.7 FEET OF THE NORTH 413.7 FEET OF THE EAST 100 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA. LESS ANY PORTION OF THE ABOVE DESCRIPTION LYING WITHIN THE BOUNDARY OF LAKE MARSHALL DRIVE AS DESCRIBED IN QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 3726, PAGE 2538, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ALSO LESS AND EXCEPT FROM THE ABOVE DESCRIPTIONS, ANY PORTION LYING WITHIN THE PROPERTY DESCRIBED IN STIPULATED ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5461, PAGE 2470, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 3

THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

OCPA PARCEL ID 28-21-08-0000-00-043

FIRST AMERICAN FILE NUMBER: 2037-3736852 - THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

AND

THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

OCPA PARCEL ID 28-21-17-0000-00-014

FIRST AMERICAN FILE NUMBER: 2037-3736840 - THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE SOUTH HALF (S 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF NORTHEAST QUARTER (NE 1/4) OF SECTION SEVENTEEN (17) TOWNSHIP TWENTY-ONE SOUTH OF RANGE TWENTY-EIGHT EAST, ORANGE COUNTY, FLORIDA.

AND

THE NORTH HALF (N ½) OF THE NORTHWEST QUARTER (NW ¼) OF NORTHEAST QUARTER (NE ¼) OF NORTHEAST QUARTER (NE ¼) OF SECTION SEVENTEEN (17) TOWNSHIP TWENTY-ONE SOUTH OF RANGE TWENTY EIGHT EAST, ORANGE COUNTY, FLORIDA

AND

THAT PART OF THE SOUTHEAST QUARTER (SE ¼) OF NORTHEAST QUARTER (NE ¼) OF SECTION 17, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING WEST OF STATE ROAD 429 AND LESS PORTION THEREOF DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

THAT PART OF THE EAST HALF (E ½) OF THE NORTHEAST QUARTER (NE ¼) OF NORTHEAST QUARTER (NE ¼), SECTION 17, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING WEST OF STATE ROAD 429 RIGHT OF WAY, AND LESS PORTION DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHEAST QUARTER (NE ¼), OF THE NORTHEAST QUARTER (NE ¼), OF SECTION 17, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; LESS PORTION DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

ALL THAT PORTION OF THE EAST HALF ½ (E½) OF THE SOUTHEAST QUARTER (SE ¼) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LYING SOUTH OF THE COUNTY CLAY ROAD AS NOW EXISTING, IN ORANGE COUNTY, FLORIDA; AND LYING WEST OF LANDS DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547 AND LESS RIGHT OF WAY DESCRIBED IN OFFICIAL RECORDS BOOK 1981, PAGE 295, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PLANNED UNIT DEVELOPMENT MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN FOR LAKE MARSHALL SUBDIVISION PHASE 1

CITY OF APOPKA, FLORIDA

OCA PARCEL ID# 28-21-08-0000-00-005 & 28-21-08-0000-00-043

LEGAL DESCRIPTION PER PEC - SURVEYING AND MAPPING, LLC
DATE: JUNE 2017

OCA PARCEL ID 28-21-08-0000-00-005
FIRST AMERICAN FILE NUMBER: 2017-376602

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LESS: BEGIN AT SOUTHWEST CORNER OF NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST; RUN NORTH 31.1 FEET, EAST 400 FEET, SOUTH 1/4 POINT, WEST 400 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

PARCEL 2:

WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

AND

BEGIN AT THE NORTHWEST CORNER OF THE EAST HALF OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN NORTH 80°33'48" EAST 400.1817 FEET, THENCE SOUTH 80°39'44" WEST 13.18 FEET, THENCE SOUTH 89°33'48" WEST 400 FEET, THENCE NORTH 80°39'44" EAST 13.18 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

AND

THE EAST HALF OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, ALSO THAT PORTION OF THE SOUTH 1/2 ACRES OF THE WEST HALF OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 SOUTH OF CENTRAL LINE OF LAKE, LESS THE FOLLOWING UNDEVELOPED PARCELS: BEGIN AT THE SOUTHWEST CORNER OF THE WEST HALF OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN SOUTH 89°39'44" WEST ALONG THE SOUTH LINE OF SAID WEST HALF 1/2 ACRES, THENCE NORTH 17°05'48" EAST 800 FEET TO THE CENTRAL LINE OF LAKE, THENCE SOUTH 40°15'20" EAST ALONG CENTRAL LINE OF LAKE, 106.41 FEET TO THE EAST END OF SAID CENTRAL LINE; THENCE SOUTH ALONG EAST LINE OF SAID WEST HALF 1/2 ACRES TO POINT OF BEGINNING, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; AND COMMENCE EAST 1/4 CORNER OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN THENCE SOUTH 89°39'44" WEST 102.14 FEET, SOUTH 80°10'00" WEST 106.7 FEET TO THE POINT OF BEGINNING, RUN THENCE SOUTH 80°10'00" WEST 21 FEET, THENCE SOUTH 89°39'44" WEST 203.0 FEET, THENCE SOUTH 80°25'25" WEST 113.11 FEET, THENCE NORTH 80°10'00" EAST 80 FEET, THENCE NORTH 89°39'44" EAST 104.11 FEET, THENCE WEST 1/2 POINT OF BEGINNING, LESS SOUTH 30.1 FEET OF THE NORTH 41.1 FEET OF THE EAST 100 FEET TO THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS ANY PORTION OF THE ABOVE DESCRIPTION LYING WITHIN THE BOUNDARY OF LAKE MARSHALL HAVE AS BEING THEREIN (SEE PLAN REFERRED TO IN PUBLIC RECORDS BOOK 3106, PAGE 2206 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA).

ALSO LESS AND EXCEPT FROM THE ABOVE DESCRIPTIONS, ANY PORTION LYING WITHIN THE PROPERTY DESCRIBED IN WITHIN LATER ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 3461, PAGE 2506 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 3:

THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

OCA PARCEL ID 28-21-08-0000-00-043
FIRST AMERICAN FILE NUMBER: 2017-376603

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

AND

THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

PUD MASTER PLAN/PDP NARRATIVE:

PHASE 1 OF THE LAKE MARSHALL SUBDIVISION IS MADE UP OF TWO PARCELS LOCATED OFF OF JOHN'S ROAD, WEST OF SR 451, WITH A PHYSICAL ADDRESS OF JOHN'S ROAD AND 705 JOHN'S ROAD, APOPKA, FL 32760 WITHIN THE CITY OF APOPKA. THE SUBJECT PROPERTIES HAVE A TOTAL COMBINED AREA OF APPROXIMATELY 114.9 AC. OF WHICH 101.1 AC WILL BE DEVELOPED DURING PHASE 1 OF THE PROPOSED SUBDIVISION. THE SUBJECT PARCELS ARE CURRENTLY BEING USED AS VACANT RESIDENTIAL AND CONTAINER NURSERY. THE PROPOSED DEVELOPMENT IS A RESIDENTIAL SUBDIVISION WITH 177 INDIVIDUAL SINGLE FAMILY LOTS, ASSOCIATED ROADWAYS AND RETENTION/DETENTION AREAS. THE POTABLE WATER, RECLAIMED WATER AND WASTEWATER WILL BE PROVIDED BY CITY OF APOPKA UTILITIES. A FEE SIMPLE OWNERSHIP, SUCH AS A HOME OWNERS ASSOCIATION, WILL BE CREATED FOR ALL LANDS EXCLUSIVE OF THE INDIVIDUAL LOTS TO CONTROL AND MAINTAIN THE LAND. THE JOHN'S ROAD PUBLIC RIGHT-OF-WAY WILL ALSO BE IMPROVED AS PART OF PHASE 1 OF THE LAKE MARSHALL DEVELOPMENT.

UTILITY PROVIDERS

WATERSEWER:
CITY OF APOPKA
748 E. WINTER STREET
APOPKA, FL 32760
CONTACT: BRUNNENBERG
(407) 703-1351, EXT. 685

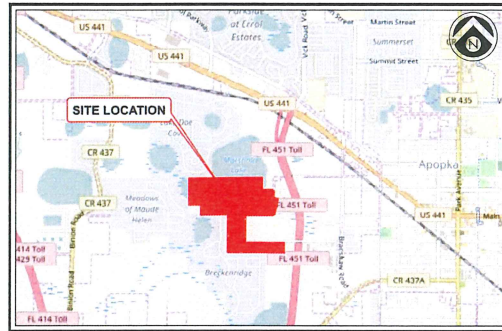
SOLID WASTE COLLECTION:
CITY OF APOPKA
124 E. MAIN STREET
APOPKA, FLORIDA 32760
PHONE: (407) 703-1700

GAS:
LAKE APOPKA NATURAL GAS DISTRICT
1220 WINTER GARDEN VILLANO ROAD
ORLANDO, FL 32808
CONTACT: ANTONIO GERON
PHONE: (407) 656-2734

TELEPHONE:
CENTURY LINK
33 N. MAIN STREET, ROOM 144
WINTER GARDEN, FL 32789
CONTACT: TY LARLEE
PHONE: (407) 814-5250

CABLE:
CHARTER COMMUNICATIONS (A.K.A. SPECTRUM)
3750 ALL AMERICAN BOULEVARD
ORLANDO, FLORIDA 32838
CONTACT: MARVIN USRY JR.
PHONE: (407) 552-8509

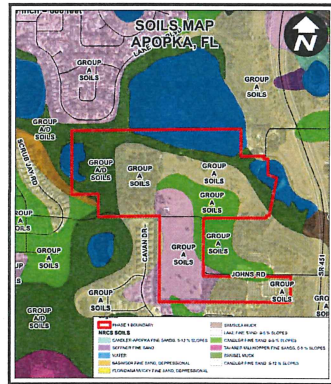
POWER:
FLORIDA POWER & LIGHTS
2801 25TH STREET NORTH
ORLANDO, FLORIDA 32733
CONTACT: MEGAN VONSTREINA
PHONE: (321) 809-9394



VICINITY MAP
SCALE: 1" = 2000'



AERIAL MAP
SCALE: 1" = 1000'



SOILS MAP
SCALE: 1" = 1000'



FEMA FLOOD MAP
SCALE: 1" = 1000'

PROJECT TEAM:

CITY OF APOPKA
100 N. WINTER STREET
APOPKA, FL 32760

OWNER:
JAMES D. & DEBORAH M. LYDA
240 PARK WILKES PLACE
APOPKA, FL 32761

ENGINEER:
APPIAN ENGINEERING, INC.
CONTACT: MARVIN USRY, P.E.
3410 S. LANTANA AVE., SUITE 400
ORLANDO, FL 32814
PHONE: (407) 656-2734
FAX: (407) 656-2739
EMAIL: JLV@APPIANENGINEERING.COM

DESIGNER:
APPIAN ENGINEERING, LLC
100 N. WINTER STREET
2211 LEE ROAD-SUITE 17
WINTER PARK, FL 32789
PHONE: (407) 666-0568
FAX: (407) 666-0570
EMAIL: LCL@APPIANENGINEERING.COM

CONSULTANT:
P.E.C. SERVICES & TRAINING, LLC
10000 W. STATE AVE., SUITE 100
2100 ALAPPA TRAIL, SUITE 30
ORLANDO, FL 32817
PHONE: (407) 324-8869
EMAIL: DFW@PESERVICE.COM

LANDSCAPE ARCHITECT:
LANDSCAPE ARCHITECTURE, LLC
10000 W. STATE AVE., SUITE 100
2100 ALAPPA TRAIL, SUITE 30
ORLANDO, FL 32817
PHONE: (407) 666-2414
EMAIL: CRE@LANDSCAPEARCH.COM

GEOTECHNICAL ENGINEER:
BIO-TERRA CONSULTING, LLC
EDWINER RAYMOND W. HORN, P.E.
4915 W. PARKWAY
LANDRD, FL 32711
PHONE: (407) 666-2414
EMAIL: BHO@BIO-TERRA.COM

ENVIRONMENTAL CONSULTANT:
BIO-TERRA CONSULTING, LLC
EDWINER RAYMOND W. HORN, P.E.
4915 W. PARKWAY
LANDRD, FL 32711
PHONE: (407) 666-2414
EMAIL: MAR@BIO-TERRA.COM

SHEET INDEX

- C1.0 COVER SHEET
- C1.1 OVERALL EXISTING CONDITIONS
- C1.2 EXISTING CONDITIONS - NORTHWEST
- C1.3 EXISTING CONDITIONS - NORTH
- C1.4 EXISTING CONDITIONS - SOUTH
- C1.5 EXISTING CONDITIONS - SOUTHWEST
- C2.0 MASTER PLAN
- C2.1 MASTER PLAN DESIGN STANDARDS
- C3.0 OVERALL GEOMETRY PLAN
- C3.1 GEOMETRY PLAN - NORTHWEST
- C3.2 GEOMETRY PLAN - NORTH
- C3.3 GEOMETRY PLAN - NORTHWEST
- C3.4 GEOMETRY PLAN - SOUTH
- C3.5 GEOMETRY PLAN - SOUTHWEST
- C3.6 CURVE & LOT DATA TABLE
- C3.7 CROSS SECTIONS
- C3.8 FIRE TRUCK ROUTE PLAN
- C3.9 LIGHTING PLAN
- C4.0 OFFSITE ROW IMPROVEMENTS PLAN
- C4.1 OFFSITE ROADWAY SECTIONS
- C5.0 OVERALL UTILITY & DRAINAGE PLAN
- C5.1 UTILITY & DRAINAGE PLAN - NORTHWEST
- C5.2 UTILITY & DRAINAGE PLAN - NORTH
- C5.3 UTILITY & DRAINAGE PLAN - NORTHWEST
- C5.4 UTILITY & DRAINAGE PLAN - SOUTH
- C5.5 UTILITY & DRAINAGE PLAN - SOUTHWEST
- C6.0 OVERALL PAVING & GRADING PLAN
- C6.1 PAVING & GRADING PLAN - NORTHWEST
- C6.2 PAVING & GRADING PLAN - NORTH
- C6.3 PAVING & GRADING PLAN - NORTHWEST
- C6.4 PAVING & GRADING PLAN - SOUTH
- C6.5 PAVING & GRADING PLAN - SOUTHWEST
- L5-01 TREE MITIGATION PLAN
- L5-02 TREE MITIGATION PLAN
- L5-03 TREE MITIGATION PLAN
- L5-04 TREE MITIGATION PLAN
- L5-05 LANDSCAPE SITE PLAN
- L5-06 LANDSCAPE SITE PLAN
- L5-07 LANDSCAPE SITE PLAN
- L5-08 LANDSCAPE SITE PLAN

**SHEET 1 OF 42
NOT FOR CONSTRUCTION**



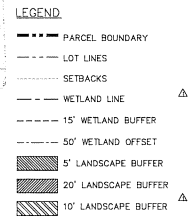
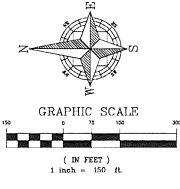
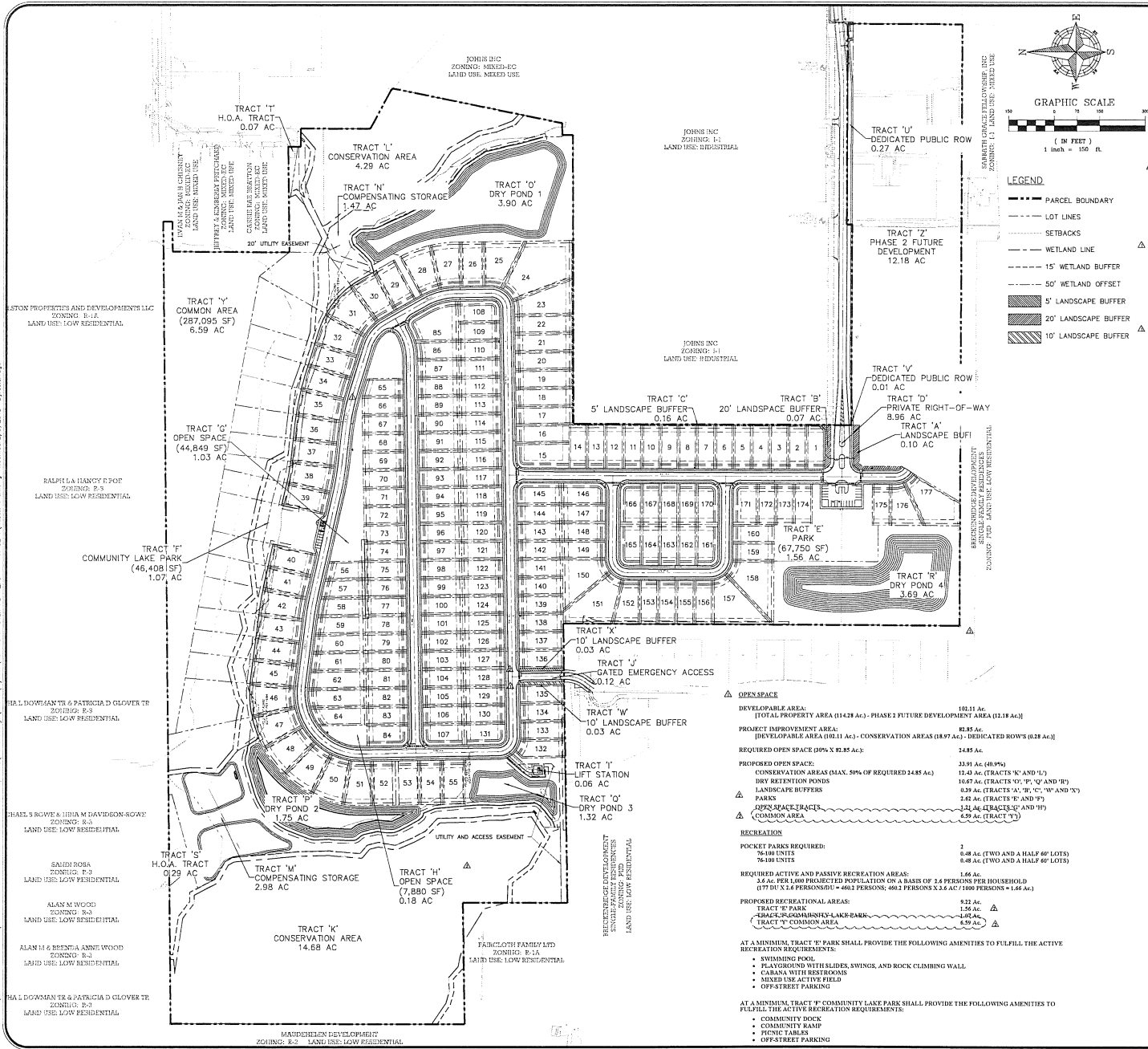
2221 LEE ROAD, SUITE 17
WINTER PARK, FLORIDA 32789
(407) 960-5868

BOARD OF PROFESSIONAL
ENGINEERING CERTIFICATE
NO. 32174

PERMITS REQUIRED

AGENCY	PERMIT TYPE	DATE APPLIED	DATE APPROVED	APPROVAL NO.
CITY OF APOPKA	SITE PERMIT			
S.J.R.W.M.D.	EMB			
F.D.E.P.	WATER			
F.D.E.P.	WASTEWATER			
F.E.M.A.	CLOW-F			

REV	DATE	DESCRIPTION
1	10/24/17	CITY OF APOPKA COMMENTS DATED 10/24/17 THRU 10/27/17
2	01/18/18	CITY OF APOPKA COMMENTS DATED 01/18/18
3	01/31/18	CITY OF APOPKA COMMENTS DATED 01/31/18
4		
5		
6		
7		
8		
9		
10		



SITE DATA:

OCFA - PARCEL ID #:	28-21-08-0000-00-005
PARCEL AREA:	102.11 AC
PROJECT IMPROVEMENT AREA:	82.85 AC
FEMA FLOOD INSURANCE RATE MAP FLOOD ZONE:	X & AE (EL. = 70.3)
FIRM PANEL: 22060C020 DATED SEPT. 25, 2009	
FEMA FLOOD PRONE AREA (AREA BELOW FE 70.3):	39.72 AC
EXISTING WETLANDS:	21.09 AC
PROPOSED WETLAND IMPACTS:	0.47 AC
PROPOSED DEDICATED CONSERVATION TRACTS:	18.97 AC
WETLAND AREA TO REMAIN:	16.78 AC
PROVIDED 15' WETLAND BUFFER:	1.03 AC
ADDITIONAL AREA TO REMAIN UNALTERED:	1.16 AC
PROPOSED CONSERVATION EASEMENT:	4.52 AC
WETLAND AREA TO REMAIN:	3.83 AC
PROVIDED 15' WETLAND BUFFER:	0.68 AC
EXISTING ZONING:	PUD
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH:	R-3
SOUTH:	PUD
EAST:	I-1, MIXED-EC
WEST:	PUD, R-2
EXISTING FUTURE LAND USE (PLU):	LOW RESIDENTIAL
ADJACENT FUTURE LAND USE:	LOW RESIDENTIAL SOUTH INDUSTRIAL, MIXED USE WEST LOW RESIDENTIAL
PROPOSED MINIMUM LOT REQUIREMENTS:	
MINIMUM LOT AREA:	66' LOTS: 4,100 SF (*) 78' LOTS: 10,875 SF
MINIMUM LOT WIDTH:	60' FL
MINIMUM LOT DEPTH:	135' FL (*)
MAXIMUM BUILDING HEIGHT:	35' FL
SETBACKS:	
FRONT YARD:	25' FL
SIDE YARD:	5' FL
REAR YARD:	25' FL
CORNER SIDE YARD:	15' FL
	N/A

(*) LOTS 56, 57, AND 58 HAVE LOT AREAS OF 2,246 SF, 810 SF, AND 748 SF, RESPECTIVELY, AND MINIMUM LOT DEPTHS OF 114 FL, 129 FL, AND 122 FL, RESPECTIVELY (REFER TO SHEET C1.6 FOR LOT SIZING AND SETBACK DETAILS).

SITE DATA:

OCFA - PARCEL ID #:	28-21-08-0000-00-043
PARCEL AREA:	11.18 AC
AREA DEDICATED TO PUBLIC RIGHT-OF-WAY:	0.3 AC
EXISTING ZONING:	MIXED-EC
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH:	I-1
SOUTH:	PUD, I-1
EAST:	I-1
WEST:	PUD
EXISTING FUTURE LAND USE (PLU):	MIXED USE
ADJACENT FUTURE LAND USE:	INDUSTRIAL LOW RESIDENTIAL, INDUSTRIAL MIXED USE LOW RESIDENTIAL
PROPOSED MINIMUM LOT REQUIREMENTS:	NO LOTS PROPOSED IN THIS PHASE

OVERALL SITE DATA:

OCFA - PARCEL ID #:	28-21-08-0000-00-005
28-21-08-0000-00-043	
TOTAL PROPERTY AREA:	114.28 AC
PROJECT IMPROVEMENT AREA:	82.85 AC
DEDICATED PUBLIC RIGHT-OF-WAY AREA:	0.18 AC
CONSERVATION AREA:	18.97 AC
PHASE 2 FUTURE DEVELOPMENT AREA:	12.18 AC

RECREATION

POCKET PARKS REQUIRED: 2
6.8 AC (TWO AND A HALF 60' LOTS)
6.8 AC (TWO AND A HALF 60' LOTS)

REQUIRED ACTIVE AND PASSIVE RECREATION AREAS: 1.66 AC
2.6 AC PER 1,000 PROJECTED POPULATION ON A BASIS OF 2.6 PERSONS PER HOUSEHOLD
(171 @ 2.6 PERSONS = 441 PERSONS; 460 PERSONS @ 2.6 AC = 166 AC)

PROPOSED RECREATION AREAS: 9.22 AC
TRACT 'E' PARK: 6.75 AC
TRACT 'A' COMMON AREA: 1.46 AC
TRACT 'V' COMMON AREA: 0.99 AC

AT A MINIMUM, TRACT 'E' PARK SHALL PROVIDE THE FOLLOWING AMENITIES TO FULFILL THE ACTIVE RECREATION REQUIREMENTS:

- SWIMMING POOL
- PLAYGROUND WITH SLIDES, SWINGS, AND ROCK CLIMBING WALL
- CABANA WITH REST ROOMS
- MIXED USE ACTIVE FIELD
- OFF-STREET PARKING

AT A MINIMUM, TRACT 'V' COMMON AREA SHALL PROVIDE THE FOLLOWING AMENITIES TO FULFILL THE ACTIVE RECREATION REQUIREMENTS:

- COMMUNITY DOCK
- COMMUNITY RAMP
- PICNIC TABLES
- OFF-STREET PARKING

CIVIL ENGINEERING & LAND PLANNING

APPLAN ENGINEERING LLC.

2221 Lee Road, Suite 15, Wynn-Dix, Fort Myers, Florida 33909

PHONE: 407-960-5888

WWW.APPLANENGINEERING.COM

SCALE: 1" = 150'

PROJECT: ROT-001

SHEET: C2.1

DATE: 7/7/2017

MASTER PLAN

PUD MASTER PLAN/PDP

LAKE MARSHALL SUBDIVISION - PHASE 1

CITY OF APOPKA, FLORIDA

APPLAN ENGINEERING

DESIGNED BY: S. SIERRA-DE

CHECKED BY: O. SANCHEZ

DATE: 7/7/2017

SHEET 9 OF 42

NOT FOR CONSTRUCTION

LAKE MARSHALL PHASE 1 MASTER PLAN DEVELOPMENT STANDARDS

A. Design Standards

1. LOT CRITERIA:

Description	Single-Family Detached 60' Lot	Single-Family Detached 75' Lot
Lot Setbacks ⁽¹⁾		
Front Porch ⁽²⁾	15'	15'
Front	25'	25'
Rear	20'	20'
Side	5'	7.5'
Side Corner	15'	N/A
Garage	25' ⁽⁶⁾	25' ⁽⁶⁾
Accessory Structure Rear	5'	5'
Lot Dimensions		
Min. Average Lot Area	8,100 SF ⁽⁵⁾	10,875 SF
Min. Lot Width	60' ⁽³⁾	75' ⁽⁴⁾
Min. Lot Depth	135' ⁽⁵⁾	145'
Max. Lot Coverage	75%	75%
Max. Building Height	35' / 2 Stories	35' / 2 Stories
Min. Living Area	1,800 SF	1,800 SF

(1) See sheet titled "Curve and Lot Data Table" for depiction of conceptual typical site plans.

(2) Front porch setback as allowed per City of Apopka Development Design Guidelines 3.2.1.

(3) Minimum lot width may be reduced to 40' around curves so long as lot width at the building line is 60' minimum.

(4) Minimum lot width may be reduced to 40' around curves so long as lot width at the building line is 75' minimum.

(5) Lots 56, 57, and 65 have lot areas of 7,326 SF, 8,192 SF, and 7,838 SF, respectively, and minimum lot depths of 114', 129', and 122', respectively. See sheet titled "Curve and Lot Data Table" of the Lake Marshall Subdivision Phase 1 PUD Master Plan/Preliminary Development Plan for lot sizing and setback details for these lots.

(6) A deviation from the City of Apopka's requirement of a 30' garage setback is hereby requested.

B. Architectural, Buildings, and Accessory Structures

1. Architectural design shall meet the intent of City of Apopka Development Design Guidelines or unless otherwise stated.
2. All lots shall have detached single family homes.
3. Each individual single-family home shall have a minimum of two (2) bedrooms.
4. All lots shall have attached minimum two (2) car garages.
5. A deviation from the City of Apopka Development Design Guidelines is hereby requested to allow for side-entry, flush, recessed, and protruding garage styles throughout the Lake Marshall Subdivision.

6. Mail delivery for all lots within both phases of the Lake Marshall Subdivision shall occur at mail kiosks with cluster mailbox units. Approval from the Postmaster of the mail kiosks and their location shall be submitted prior to approval of the Final Development Plan.
7. AC condenser units & similar equipment placed in the side yard area shall be screened with landscaping or opaque fencing.
8. Storage sheds or similar storage facilities shall not be allowed.
9. Swimming pools shall be allowed on all lots.
 - a) Swimming Pools must be in-ground type. Above Ground Pools are prohibited.
 - b) Swimming pools and decks are prohibited from projecting beyond the side wall facade.
10. Screen enclosures over swimming pools and their respective deck area with non-metal or non-vinyl roofs shall be allowed.
 - a) Screening shall be dark mesh. Opaque, semi-opaque or clear panels on the walls or roofs are prohibited.
11. Screen enclosures with metal, vinyl, or screen mesh roofs over non-swimming pool decks are prohibited.
12. Architectural Design Standards:
 - a) Architectural styles shall be determined prior to Final Development Plan approval, and these shall meet the intent of to the City of Apopka's Development Design Guidelines except as noted on these Development Standards. Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
 - b) A deviation from the City of Apopka Development Design Guidelines is hereby requested for all 60' lots with 50' wide homes to allow for the garage to cover a maximum of 60% of the length of the front primary façade only in the case a three (3) car garage is selected by the homebuyer.
 - c) Front facade materials such as cultured stone veneer, stucco, & fiber cement siding shall be utilized to be consistent with the applicable Architectural Style.
 - d) Minimum roof pitch over the main house and garage shall be 5/12. Roof pitch over porches shall be a minimum of 4/12.
 - e) 30-year asphalt shingle shall be installed on all roofs. 3-tab shingles are prohibited. Single shingle color shall be used for uniformity throughout the community.
 - f) Aluminum fascia and soffit shall be standard for all houses. Single Fascia and soffit color shall be used for uniformity throughout the community.
 - g) Trim around windows and doors shall be painted a different color from the body of the house. Doors may be painted either the same as the trim or separate accent color.
 - h) Pavers shall be installed in front yard driveways and lead walks.
13. Front Building Entrance Elevation Design Standards:
 - a) Front porches & porticos at grade level.
 - b) Identical model plan type shall not be constructed on neighboring lots who share a side yard property boundary line without a different elevation style type.
 - c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line.
 - d) Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
14. Rear Elevation Design Standards:
 - a) Large expanses of solid wall shall be avoided thru use of windows, wall features, or wall / roof jogs.
 - b) Window grid patterns and window banding & trim shall match front elevation windows.

- c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line
 - d) Modification or replacement of the exterior elevation can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
15. Mail Kiosk Elevation Design Standards:
- a) Elevation shall be compatible with the architectural elevation styles of the homes & mail kiosks within the community.
16. Individual Lot Front & Rear Yard Fencing Standards:
- a) Maximum height of a fence shall be 6'-0" above final grade. When abutting a common area wall, the fence height shall taper to the height of the wall across a horizontal distance no less than 8'-0".
 - b) Rear yard fences shall not project more than five feet (5') beyond rear side wall building corner.

C. Utilities and Infrastructure

1. Water service shall be provided by the City of Apopka. The water system shall be designed to City standards.
2. Reclaim water service shall be provided by the City of Apopka. The reclaim water system shall be designed to City standards.
3. Stormwater management system shall be designed to comply with the design standards of this Master Plan and the St. Johns River Water Management District.
4. A final drainage report and soils report will be submitted with the Final Development Plan.
5. Sanitary service shall be provided by the City of Apopka. The sanitary system shall be designed to City of Apopka standards.
6. Utility easements shall be dedicated to the City of Apopka.
7. Drainage easements to be dedicated to the Home Owners' Association unless otherwise required by the City of Apopka.
8. All stormwater and utility pipes may be moved to save existing trees in the right-of-way. Any change in the location of these pipes will be shown on the Final Development Plan.
9. On-site streets are to be constructed per City of Apopka standards.
10. Stabilized access roadways and fire hydrants must be in place before building construction may begin.
11. Solid waste collection and public safety (police and fire) provided by the City of Apopka.
12. The internal street right-of-way is to be private.
13. Five-foot (5') wide sidewalks are to be constructed adjacent to internal roads throughout the entire project in compliance with the City of Apopka Land Development Code. Sidewalk alignment may be adjusted at final development plan to preserve existing trees.
14. A five-foot (5') wide sidewalk shall be constructed within the southern side of the Johns Road right-of-way from the main entrance proposed within Parcel ID 28-21-08-0000-00-005 east until the western parcel boundary of Parcel ID 28-21-08-0000-00-043. At this point, a crosswalk will be installed across the Johns Road paved roadway to the northern side of the right-of-way, from where the proposed sidewalk will run east and connect to the existing sidewalk.
15. Right-of-way dedication along Johns Road shall be as depicted on sheet C4.0 or the Lake Marshall Subdivision Phase 1 Planned Unit Development Master Plan/Preliminary Development Plan.
16. Garages shall be accessed from the adjacent public right-of-way at the front of the lot for all lots.
17. Power service within the development shall be underground. No overhead service will be allowed.

18. Vehicular, Pedestrian and Accent lighting shall substantially conform the Section 3.10 – Lighting of the City of Apopka Development Design Guidelines.
19. Based upon the development’s daily trip generation of 1,779 vehicles, the provision of one northbound deceleration lane at the intersection of Johns Road and Bradshaw Road is warranted when the development reaches 50 percent (50%) of its Phase 1 development program, or prior to the completion of the 87th residential unit in the entire Lake Marshall Subdivision, whichever comes first.
20. A twenty-four-foot (24’), gated emergency access road shall be constructed between lots 135 and 136, connecting the Lake Marshall Subdivision Street C right-of-way to the Breckenridge Subdivision Cavan Drive right-of-way to provide an emergency-only route for both subdivisions. This access road shall be constructed within a 40-foot emergency access easement, pedestrian ingress/egress, and utility easement.
21. The potable and reclaimed water mains connecting Breckenridge to the City of Apopka utilities shall be rerouted through Lake Marshall Subdivision H.O.A.-owned tracts to remove them from the rear of lots 132 through 135. Within the Breckenridge Subdivision, these mains will run north through the 40-foot emergency access easement, pedestrian ingress/egress, and utility easement mentioned above.

D. Recreation and Open Space

1. Required project open space shall be a minimum of 30% of the developed site area in accordance with City of Apopka LDC Section 2.02.18(D)(19).
2. Required project recreation shall be provided at a rate of 3.6 acres per 1,000 population with 2.6 population per dwelling unit.
3. Tract “E” shall be an approximate 1.56-acre Park. A specific park site plan and amenities/equipment shall be provided with the Final Development Plan. Park amenities shall include a cabana with restrooms, a swimming pool, a playground, and a mixed-use active field at a minimum. The Community Building shall be a minimum of 900 SF containing, at a minimum, restroom facilities for the building and pool. The swimming pool and deck area shall be a minimum of 3,000 SF and water area a minimum of 2,000 SF. Documentation/calculations that the proposed pool size complies with state health standards will be provided at the Final Development Plan.
4. Tract “F” shall be an approximate 1.58-acre Community Lake Park. A specific park site plan and amenities/equipment shall be provided with the Final Development Plan. Community lake park amenities shall include at a minimum one community ramp, one community dock, and picnic tables.
5. Tract G and H will incorporate pedestrian circulation, benches, and open play areas. Specific park site plans and amenities/equipment shall be provided with the Final Development Plan.
6. All recreation and open space areas within the limits of Phase 1 will be accessible to all homeowners of Phase 2 of the Lake Marshall Subdivision.

E. Buffers and Landscaping

1. A twenty-foot (20’) buffer for entry wall and landscaping will be provided along each side of the proposed main entrance on Johns Road. These tracts shall be dedicated to and maintained by the H.O.A. The design of these buffer tracts shall generally follow the landscape design appearing on sheets LS-04 and LS-08 of the Master Plan/Preliminary Development Plan. A six foot (6’) high wall or fence is provided in these tracts to provide buffering from the adjacent roadway.
2. A five-foot (5’) wide buffer tract for landscaping will be provided along the rear of lots 1-24 to provide buffering from industrial-zoned properties. This tract shall be dedicated to and maintained

by the H.O.A. The design of this buffer shall generally follow the landscape design appearing on sheets LS-01, LS-02, LS-04, LS-05, LS-06, and LS-08 of the Master Plan/Preliminary Development Plan.

3. A ten-foot (10') wide buffer tract for landscaping will be provided along each side of the proposed emergency access tract for Lake Marshall Subdivision and Breckenridge Subdivision. These tracts shall be dedicated to and maintained by the H.O.A. The design of these buffer tracts shall generally follow the landscape design appearing on sheet LS-06 of the Master Plan/Preliminary Development Plan.
4. Entrance feature and community sign details will be provided with the Final Development Plan.
5. Final landscape plans for the buffer areas along the proposed main entrance at Johns Road will be provided with the Final Development Plan.
6. Tree Planting Conditions. Minimum of three new trees shall be planted per 60' and 75' residential lot. The new trees shall be a minimum of three inches (3") DBH at the time of planting and shall count toward the overall number of required tree replacement inches, if any.
7. Tree Protection Plan - The Final Development Plan shall include tree protection techniques to prevent harm to any trees designate to be preserved or encroachment into protected natural areas, including but not limited to tree barricades, silt fencing or other similar techniques accepted by the City Engineer.

F. Maintenance and Plat

1. The Lake Marshall Home Owners' Association will maintain common areas, fences/walls, and landscaping within the front and corner yards of all lots. The HOA shall also be responsible for maintenance of streets, street lighting, and stormwater collection systems within the right-of-way and drainage easements within the Lake Marshall Subdivision.
2. The Final Development Plan shall include the plat document, and the plat shall be in final form.

G. Wetlands and Environmental

1. There are three wetland areas within the site. These are located in the northwest, north, and northeast portions of the property.
2. According to the FEMA Flood Insurance Rate Map for Orange County, FL, Panel No. 12095-C-0120-F, dated September 25, 2009, the majority of the proposed development is located within Zone X (areas determined to outside the 500-year floodplain) and limited northern portions of Parcel ID 28-21-08-0000-00-005 fall within FEMA flood zone AE. The areas within these portions that will be developed will be removed from the floodplain.
3. An erosion control plan will be submitted with the Final Development Plan.
4. Tree removal, tree replacement, and landscaping shall comply with Water Wise Ordinance 2069 and shall be consistent with Article V of the City of Apopka Land Development Code.
5. Individual lot arbor/clearing permit is required prior to clearing or grading of any lot or issuance of building permit. Placement of the house shall preserve existing trees to the greatest extent practical. Plot plan for each lot shall illustrate tree locations as presented within the PUD Master Plan/Preliminary Development Plan.

H. Development Condition Continuity

The PUD Development Standards shall be printed within the PUD Master Plan and the Final Development Plan.

I. Signage

Signage shall comply with Article 8 of the City of Apopka Land Development Code and with the City of Apopka Development Design Guidelines.

J. Lighting

Lighting shall comply with the City of Apopka's City Ordinance No. 2069 and Section 3.10 of the City of Apopka Development Design Guidelines. Street and parking area or pedestrian path light poles shall be decorative type. Details will be provided with the Final Development Plan.

L. Miscellaneous

1. Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction. Permits shall be applied for and issued by the appropriate agencies.
2. All acreages are subject to change with final engineering and final plat review and approval.



Landscape Designs, LLC

- Landscape Architecture
- Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
PH: (407) 484-3414
FX: (407) 671-1604

PROJECT AND OWNER

LAKE MARSHALL SUBDIVISION PHASE I

City of Apopka
Florida

Applan Engineering, LLC
2221 Lee Road, Suite 17
Winter Park, FL 32789
PH: (407) 960-5856

CONSULTANTS

LANDSCAPE ARCHITECT

CARL J. KELLY JR., RLA

REG. #: 0001764

PROJECT NO. APP01.03
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 08/22/17

ISSUED FOR:

11/29/17 New Tree Survey
02/04/18 Site Change

DRAWING SCALE



DRAWING TITLE

LANDSCAPE SITE PLAN

DRAWING NUMBER

LS-05

SHEET 39 OF 42

PLANT SCHEDULE

DECEIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
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STREET TREE	23	Lewuamban styraciflua	Sweet Gum	65 gal	3" DBH	15' HT.	
	79	Platanus occidentalis	Sycamore	65 gal	3" DBH	15' HT.	
	110	Ulmus parvifolia	Chinese Elm	65 gal	3" DBH	10' x 12' HT.	

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
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STREET TREE	201	Quercus virginiana	Southern Live Oak	100 gal	4" DBH	15' HT.	
	52	Quercus virginiana 'Cathedral'	Cathedral Live Oak	65 gal	3" DBH	12' HT.	

FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
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STREET TREE	27	Lindoodendron tulipifera	Tulip Tree	65 gal	3" DBH	10' x 12' HT.	
	127	Magnolia grandiflora	Southern Magnolia	65 gal	3" DBH	12' HT.	
	19	Magnolia grandiflora 'Majestic Beauty' TM	Southern Magnolia	65 gal	3" DBH	10' x 12' HT.	

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
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	195	Galphimia spicata	Thyriasis	3 gal			24" x 30" ht. x 24" x 30" spds., 30" O.C.
	106	Viola wittmanniana	Walter's Viola	7 gal			36" ht. x 30" x 36" spds., 30" O.C.

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
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	130	Muhlenbergia capillaris	Pink Muhly Grass	3 gal			18" x 24" ht. x 24" x 30" spds., 30" O.C.
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SOD & MISCELLANEOUS ITEMS

MISCUT 1/2" Top Bark, 1/2" layers

SOD Pasapalan nekatam Baha Sod

NOTE:
STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.

TRACT 'Y'
COMMON AREA
(26.59 AC)

TRACT 'L'
CONSERVATION AREA
(4.29 AC)

TRACT 'O'
DRY POND 1
(3.90 AC)

TRACT 'L'
OPEN SPACE
(48,849 SF)
(1.03 AC)

NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009 ADOPTED MAY 21, 2009 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE *Carl Kelly Jr.* REG. NO. LA0001764 DATE 08/22/17



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- Site Planning

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CONSULTANTS

LANDSCAPE ARCHITECT

CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO. APP01.03
DESIGNED BY: CJK
DRAWN BY: CJK
CHECKED BY: CJK
DATE: 06/22/17

ISSUED FOR:
11/29/17 New Tree Survey
02/04/18 Site Changes

DRAWING SCALE

1" = 50'-0"
0 FT 25 FT 50 FT North

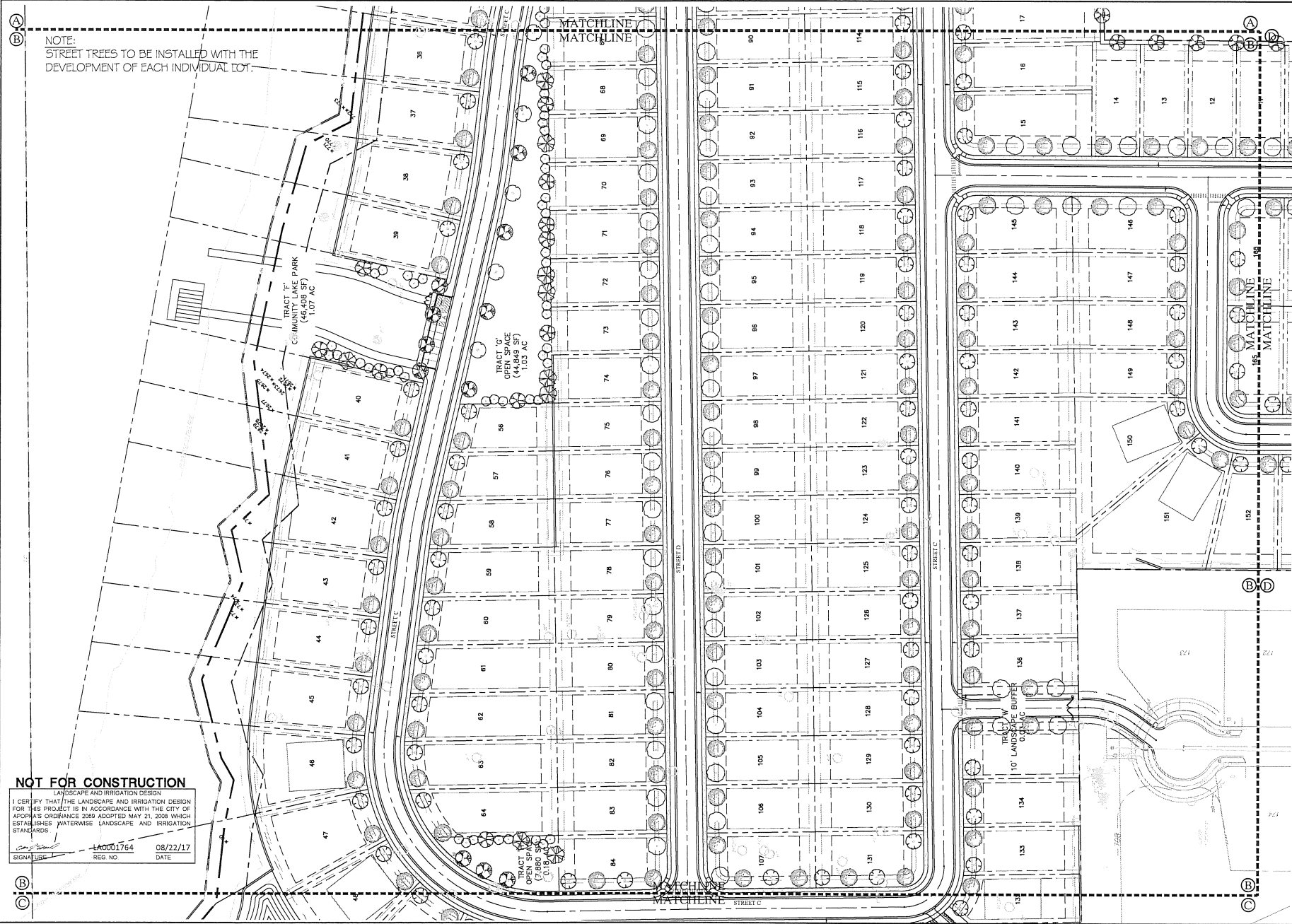
DRAWING TITLE

LANDSCAPE SITE PLAN

DRAWING NUMBER

LS-06

SHEET **40** OF **42**



NOTE:
STREET TREES TO BE INSTALLED WITH THE
DEVELOPMENT OF EACH INDIVIDUAL LOT.

NOT FOR CONSTRUCTION
LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN
FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF
APOPKA'S ORDINANCE 2009 ADOPTED MAY 21, 2009 WHICH
ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION
STANDARDS

REG. NO. 1764 DATE 06/22/17

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■ Site Planning
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PROJECT AND OWNER

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CONSULTANTS

LANDSCAPE ARCHITECT

CARL J. KELLY JR., RLA

REG. #: 0001764

PROJECT NO. APP01.03
DESIGNED BY: CJK
DRAWN BY: CJK
CHECKED BY: CJK
DATE: 08/22/17

ISSUED FOR:
11/29/17, New Tree Survey
02/04/18, Site Changes

DRAWING SCALE

1" = 60'-0"
0 FT 20 FT 40 FT North

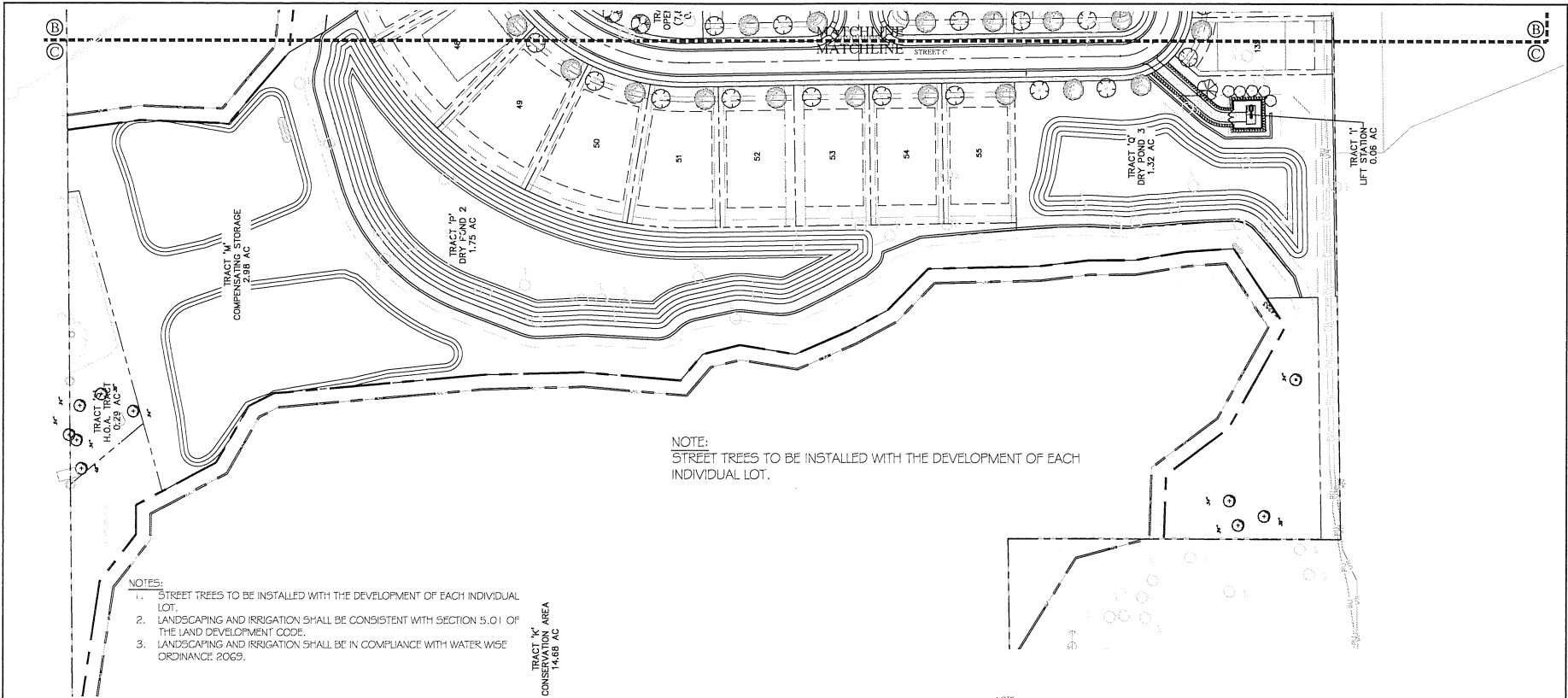
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LANDSCAPE SITE PLAN

DRAWING NUMBER

LS-07

SHEET 41 OF 42



NOTE:
STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.

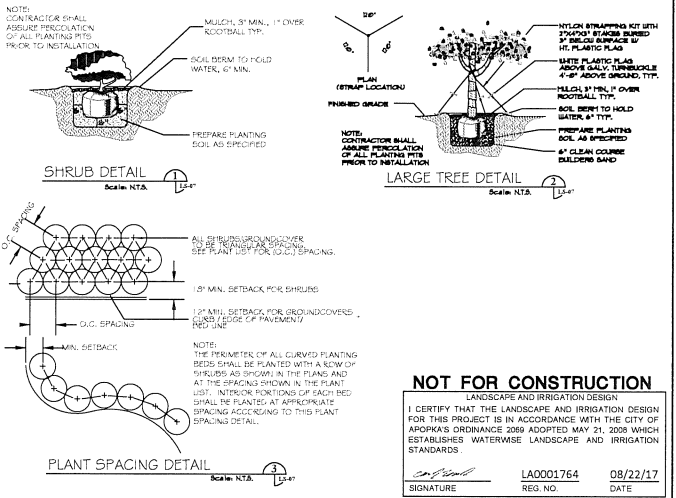
- NOTES:**
1. STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.
 2. LANDSCAPING AND IRRIGATION SHALL BE CONSISTENT WITH SECTION 5.01 OF THE LAND DEVELOPMENT CODE.
 3. LANDSCAPING AND IRRIGATION SHALL BE IN COMPLIANCE WITH WATER WISE ORDINANCE 2069.

PLANT SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
DECIDUOUS TREES						
25	Liquidambar styraciflua	Sweet Gum	65 gal	3" DBH	15' HT.	
70	Platanus occidentalis	Sycamore	65 gal	3" DBH	15' HT.	
110	Ulmus parvifolia	Chinese Elm	65 gal	3" DBH	10'-12' HT.	
EVERGREEN TREES						
201	Quercus virginiana	Southern Live Oak	100 gal	4" DBH	15' HT.	
50	Quercus virginiana 'Catherine'	Catherine Live Oak	65 gal	3" DBH	12' HT.	
SHRUBS						
27	Liriodendron tulipifera	Tulip Tree	65 gal	3" DBH	10'-12' HT.	
27	Magnolia grandiflora	Southern Magnolia	65 gal	3" DBH	12' HT.	
10	Magnolia grandiflora 'Magical Beauty'™	Southern Magnolia	65 gal	3" DBH	10'-12' HT.	
GRASSES						
125	Cymbopogon dactyloides	Thyras	3 gal		24"-30" HL. x 24"-30" SWL. x 30" O.C.	
100	Vilfa maritima	Water's Visionium	7 gal		30" HL. x 30"-36" SWL. x 30" O.C.	
130	Muhlenbergia capillaris	Pink Muhly Grass	3 gal		18"-24" HL. x 24"-30" SWL. x 30" O.C.	

LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER, AS SPECIFIED IN NURSERY AND STANDARDS FOR NURSERY PLANTS, PARTS 1 AND 2, BY DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR OR OWNER'S REPRESENTATIVE, NOT THE LANDSCAPE ARCHITECT, FOR THE NEAREST SELECTION OF PLANT MATERIAL AND TO ENSURE THE HEALTH AND SAFETY OF ALL PLANTS SELECTED.
3. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK.
4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PREPARE REPORTING ALL DISCREPANCIES AND UNDESIRABLE CONDITIONS (WEEDS, NUTS, DEBRIS, ETC.) TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND IS RESPONSIBLE FOR ALL SOIL AMENDMENTS TO CONFORM TO SPECIFICATIONS.
5. ALL TREES ON SITE SHOULD BE INSPECTED ANNUALLY AND AFTER ALL STORM EVENTS TO ENSURE THE HEALTH AND SAFETY OF ALL TREES.
6. THE LANDSCAPE CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL CITY GRADING AS THEY RELATE TO PAVING SITE GRADING, AND ALL UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY TO PRECLUDE ANY MISUNDERSTANDING AND ENSURE TROUBLE FREE INSTALLATION. THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, EXISTING UNDERGROUND SPRINGHEADS AND PPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT AVOIDANCE OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THESE REPLACEMENT IF DAMAGED BY HIM.
7. ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER (1" OVER ROOTBALL) OF MINUS #16 BARK NUGGET MULCH.
8. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES ON THE PLANT LIST AND THE PLANS, THE PLAN SHALL TAKE PRECEDENT.



NOT FOR CONSTRUCTION

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: [Signature] REG. NO. LA0001764 DATE: 08/22/17



Landscape Designs, LLC

- Landscape Architecture
- Site Planning

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PROJECT AND OWNER

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CONSULTANTS

LANDSCAPE ARCHITECT

CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO. APP01.03
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 08/22/17

ISSUED FOR:
11/29/17 New Tree Survey
02/04/18 Site Changes

DRAWING SCALE

1" = 20' North
SCALE: 1"=50'-0"

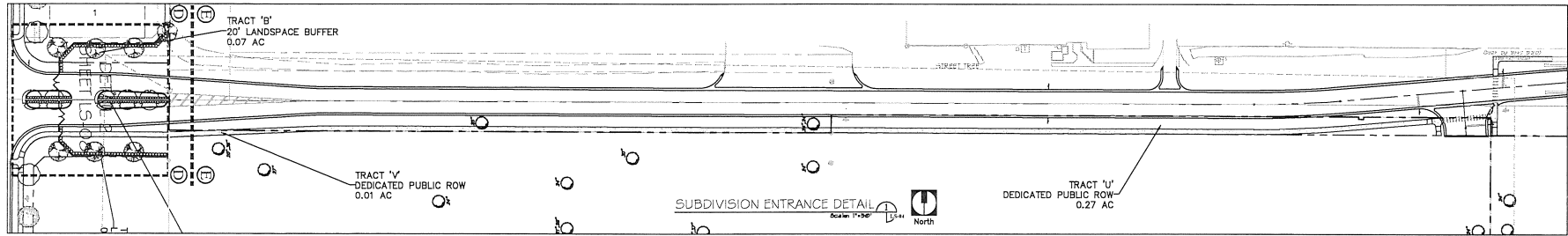
DRAWING TITLE

LANDSCAPE SITE PLAN

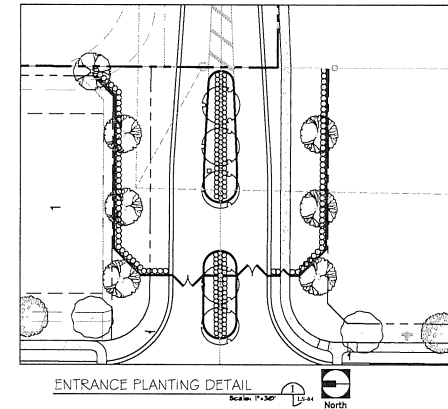
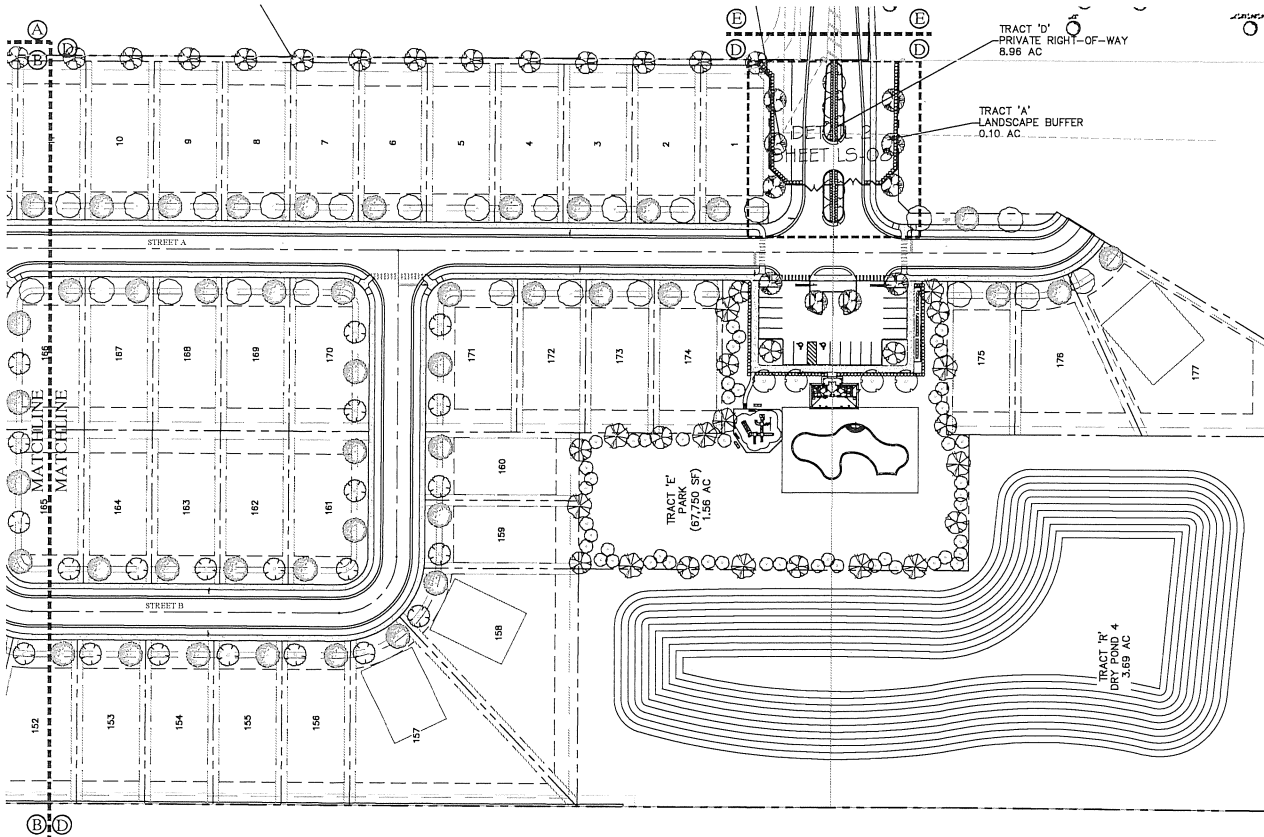
DRAWING NUMBER

LS-08

SHEET 42 OF 42



NOTE:
STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.



NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2006 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: *Carl Kelly Jr.* LAD0001764 08/22/17
REG. NO. DATE

LEGAL DESCRIPTION PER PEC - SURVEYING AND MAPPING, LLC
DATED: JUNE 2017

OCPA PARCEL ID# 28-21-08-0000-00-005
FIRST AMERICAN TITLE FILE NUMBER: 2017-379902

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE,
STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
LESS 40.00 AC AT SOUTHWEST CORNER OF NORTHEAST 1/4 OF SOUTHWEST 1/4 SECTION 8,
TOWNSHIP 21 SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET EAST 400 FEET, SOUTHWEST
1/4 FEET, WEST 400 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

PARCEL 2:

WEST 1/2 OF THE NORTHWEST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH,
R. 28 EAST, ORANGE COUNTY, FLORIDA.

AND

BEING AT THE NORTHWEST CORNER OF THE EAST HALF OF THE SOUTHWEST 1/4 OF THE
SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET
EAST 400 FEET, THENCE SOUTH 89°39'54" WEST 15 FEET; THENCE SOUTH 89°39'54" WEST 80
FEET; THENCE NORTH 89°39'54" EAST 15 FEET TO POINT OF BEGINNING, ORANGE COUNTY,
FLORIDA.

AND

THE EAST HALF OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, ALSO THAT PORTION OF
THE NORTH 1/2 CORNER OF THE WEST HALF OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21
SOUTH, RANGE 28 EAST, LESS THE FOLLOWING DESCRIBED PARCEL BEING AT
THE SOUTHWEST CORNER OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST
1/4 SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET WEST ALONG
THE SOUTHWEST LINE OF SAID WEST HALF 250.00 FEET; THENCE NORTH 11°00'00" EAST 500 FEET
TO THE CENTRAL LINE OF LAKE; THENCE SOUTH 84°25'00" WEST 425.00 FEET; THENCE SOUTH
10°00'00" EAST; ORANGE COUNTY, FLORIDA, AND COMMENCE EAST 1/4 CORNER OF
SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET TO THE POINT OF
BEGINNING; ORANGE COUNTY, FLORIDA, LESS ANY PORTION LYING WITHIN THE BOUNDARY
OF LAKE MARSHALL, THE EAST HALF OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 21
SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET WEST ALONG CENTRAL LINE OF
LAKE; 206.40 FEET TO THE EAST LINE OF SAID WEST HALF; THENCE SOUTH ALONG EAST
LINE OF SAID WEST HALF 150 FEET TO POINT OF BEGINNING, SECTION 8, TOWNSHIP 21
SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, AND COMMENCE EAST 1/4 CORNER OF
SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET TO THE POINT OF
BEGINNING; ORANGE COUNTY, FLORIDA, LESS ANY PORTION LYING WITHIN THE BOUNDARY
OF LAKE MARSHALL, THE EAST HALF OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 21
SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET WEST ALONG CENTRAL LINE OF
LAKE; 206.40 FEET TO THE EAST LINE OF SAID WEST HALF; THENCE SOUTH ALONG EAST
LINE OF SAID WEST HALF 150 FEET TO POINT OF BEGINNING, LESS SOUTH 1/2 PART
OF THE NORTH 1/2 PART OF THE EAST 1/4 CORNER OF THE NORTHWEST 1/4 OF THE
SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET
WEST ALONG CENTRAL LINE OF LAKE; 206.40 FEET TO THE EAST LINE OF SAID WEST HALF;
THENCE SOUTH ALONG EAST LINE OF SAID WEST HALF 150 FEET TO POINT OF BEGINNING;
ORANGE COUNTY, FLORIDA, LESS ANY PORTION LYING WITHIN THE BOUNDARY
OF LAKE MARSHALL, THE EAST HALF OF THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 21
SOUTH, RANGE 28 EAST, 80 NORTH 140 FEET WEST ALONG CENTRAL LINE OF LAKE;
RECORDS BOOK 3726, PAGE 258, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ALSO LESS AND EXCEPT FROM THE ABOVE'S DESCRIPTIONS, ANY PORTION LYING WITHIN
THE PROPERTY DESCRIBED IN SITUATED ORDER OF TAKING RECORDED IN OFFICIAL
RECORDS BOOK 3461, PAGE 308, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 3:

THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE
SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY,
FLORIDA, LYING SOUTH OF MARSH ROAD, NOW KNOWN AS JOHN'S ROAD.

OCPA PARCEL ID# 28-21-08-0000-00-043

FIRST AMERICAN TITLE FILE NUMBER: 2017-379852

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE
OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21
SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MARSH ROAD NOW
KNOWN AS JOHN'S ROAD.

AND

THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21
SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MARSH ROAD NOW
KNOWN AS JOHN'S ROAD.

OCPA PARCEL ID# 28-21-17-0000-00-014

FIRST AMERICAN TITLE FILE NUMBER: 2017-379860

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE
OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE SOUTH HALF (S 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHEAST
QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION SEVENTEEN (17) TOWNSHIP
TWENTY-ONE SOUTH OF RANGE TWENTY-EIGHT EAST, ORANGE COUNTY, FLORIDA.

AND

THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHEAST
QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION SEVENTEEN (17) TOWNSHIP
TWENTY-ONE SOUTH OF RANGE TWENTY-EIGHT EAST, ORANGE COUNTY, FLORIDA.

AND

THAT PART OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF
SECTION 15, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, 1.7000
WEST OF STATE ROAD 429 AND LESS PORTION THEREOF DESCRIBED IN ORDER OF TAKING
RECORDED IN OFFICIAL RECORDS BOOK 3461, PAGE 144, PUBLIC RECORDS OF ORANGE
COUNTY, FLORIDA.

AND

THAT PART OF THE EAST HALF (E 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF THE
NORTHEAST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
ORANGE COUNTY, FLORIDA, LYING WEST OF STATE ROAD 429 (RIGHT OF WAY), AND LESS PORTION
DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 3461, PAGE 144, PUBLIC
RECORDS OF ORANGE COUNTY, FLORIDA.

AND

THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF THE
NORTHEAST QUARTER (NE 1/4) OF SECTION 15, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
ORANGE COUNTY, FLORIDA, LESS PORTION DESCRIBED IN ORDER OF TAKING RECORDED IN
OFFICIAL RECORDS BOOK 3461, PAGE 144, PUBLIC RECORDS OF ORANGE COUNTY,
FLORIDA.

AND

ALL THAT PORTION OF THE EAST HALF (E 1/2) OF THE SOUTHWEST QUARTER (SW 1/4)
OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 15, TOWNSHIP 21 SOUTH, RANGE 28 EAST,
LYING SOUTH OF THE COUNTY CLAY ROAD AS NOW EXISTING IN ORANGE COUNTY,
FLORIDA, AND LYING WEST OF LAND REFERRED TO HEREIN BELOW IN ORDER OF TAKING RECORDED IN
OFFICIAL RECORDS BOOK 3461, PAGE 144 AND LESS PORTION OF WAY DESCRIBED IN
OFFICIAL RECORDS BOOK 190, PAGE 29, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

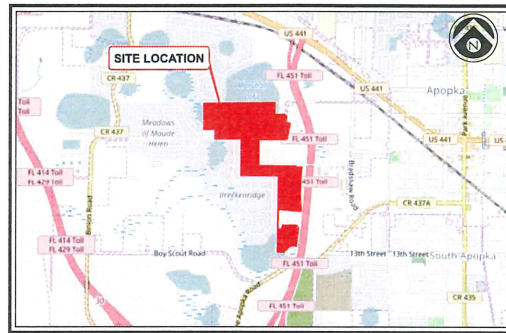
PLANNED UNIT DEVELOPMENT MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN FOR LAKE MARSHALL SUBDIVISION PHASE 2

CITY OF APOPKA, FLORIDA

OCPA PARCEL ID# 28-21-08-0000-00-005, 28-21-08-0000-00-043 & 28-21-17-0000-00-014

PUD MASTER PLAN/PDP NARRATIVE:

PHASE 2 OF THE LAKE MARSHALL SUBDIVISION IS MADE UP OF THREE
PARCELS LOCATED OFF JOHN'S ROAD, WEST OF SR 451, WITH A
PHYSICAL ADDRESS OF 705 & 890 JOHN'S ROAD, APOPKA, FL 32780
WITHIN THE CITY OF APOPKA. THE SUBJECT PROPERTIES HAVE A
TOTAL COMBINED AREA OF APPROXIMATELY 18418 AC, OF WHICH
518 AC WILL BE DEVELOPED DURING PHASE 2. THE SUBJECT PARCELS
ARE CURRENTLY BEING USED FOR RESIDENTIAL, BOTH VACANT AND
NOT VACANT, AND CONTAINER PLANT NURSERY PURPOSES. THE
PROPOSED PHASE 2 DEVELOPMENT IS A RESIDENTIAL SUBDIVISION
WITH 124 INDIVIDUAL SINGLE FAMILY LOTS, ASSOCIATED ROADWAYS
AND RETENTION/DEFENTION AREAS. THE POTABLE WATER,
RECLAIMED WATER AND WASTEWATER WILL BE PROVIDED BY CITY
OF APOPKA UTILITIES. A FEE SIMPLE OWNERSHIP, SUCH AS A HOME
OWNERS ASSOCIATION, WILL BE CREATED FOR ALL LANDS EXCLUSIVE
OF THE INDIVIDUAL LOTS TO CONTROL AND MAINTAIN THE LAND.



VICINITY MAP
SCALE: 1" = 2000'

UTILITY PROVIDERS

WATER SUPPLY CITY OF APOPKA 708 E. CLEVELAND STREET APOPKA, FL 32780 CONTACT: BRIAN BISHOP PHONE: (407) 754-1485	SOLID WASTE COLLECTION CITY OF APOPKA 120 E MAIN STREET APOPKA, FLORIDA 32780 CONTACT: ANTONIO GIBSON PHONE: (407) 662-1714	TELEPHONE CENTURY LINK 23 N. MAIN SAINT STREET, ROOM 144 WINTER GARDEN, FL 32787 CONTACT: TY LEEZE PHONE: (407) 84-4250
LAKE APOPKA NATURAL GAS DISTRICT 1325 WINTER GARDEN VINEYARD ROAD ORLANDO, FL 32839 CONTACT: MARTIN EMERY JR. PHONE: (407) 523-8509	POWER DUKE ENERGY 2901 29TH STREET NORTH ST. PETERSBURG, FL 34712 CONTACT: MEGAN VONSTETTEN PHONE: (727) 833-9384	

PROJECT TEAM:

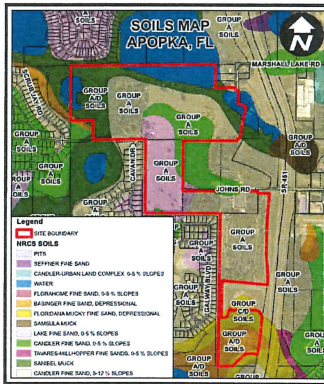
OWNER CITY OF APOPKA 120 E. MAIN STREET APOPKA, FL 32780 JAMES S. & DEBORAH M. LYDA 2257 HARBOR VILLAGE LAKE APOPKA, FL 32712 MARATHON GRANT FELLOWSHIP, INC 870 MARSHALL GARDEN PLACE APOPKA, FL 32780	DESIGNER AVATAR ENGINEERING, INC. MANAGER: BRYAN WOODRUFF, P.E. 2408 S. LAKEHURST AVE., SUITE 470 ORLANDO, FL 32817 PHONE: (407) 266-9111 EMAIL: B.WOODRUFF@AVATAR-INC.COM	ENGINEER ALPHA ENGINEERING, LLC REGISTERED PROFESSIONAL ENGINEER 1611 WINTER PARK, FL 32789 PHONE: (407) 464-8444 FAX: (407) 471-4179 EMAIL: B.LANSON@ALPHAENR.COM
LANDSCAPE ARCHITECT LANDSCAPE DESIGN, LLC 10000 W. WINDY HILL BLVD., SUITE 100 MIDDLEBURGH, FL 32130 PHONE: (407) 266-9111 EMAIL: CDELL@LDS-LLC.COM	ENVIRONMENTAL CONSULTANT ENVIRONMENTALIST MARK ANGLY 1000 W. WINDY HILL BLVD., SUITE 100 MIDDLEBURGH, FL 32130 PHONE: (407) 266-9111 EMAIL: MARK@E-MARK.COM	

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C1.1	OVERALL EXISTING CONDITIONS
C1.2	EXISTING CONDITIONS - WEST
C1.3	EXISTING CONDITIONS - NORTH
C1.4	EXISTING CONDITIONS - SOUTH
C1.5	OFFSITE EXISTING CONDITIONS
C2.0	PLANS
C2.1	MASTER PLAN
C2.2	MASTER PLAN DETAIL STANDARDS
C2.3	OVERALL GEOMETRY PLAN
C2.4	GEOMETRY PLAN - WEST
C2.5	GEOMETRY PLAN - NORTH
C2.6	GEOMETRY PLAN - SOUTH
C2.7	CURVE A L&D DATA TABLE
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C2.13	OFFSITE ROADWAY IMPROVEMENTS - JOHNS RD
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C2.16	UTILITY & DRAINAGE PLAN - WEST
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L3.01	TREE MITIGATION PLAN
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L3.03	TREE MITIGATION PLAN
L3.04	LANDSCAPE SITE PLAN
L3.05	LANDSCAPE SITE PLAN
L3.06	BENCHMARK, TOPIC, AND TREE SURVEY



AERIAL MAP
SCALE: 1" = 1000'



SOILS MAP
SCALE: 1" = 1000'



FEMA FLOOD MAP
SCALE: 1" = 1000'

SHEET 1 OF 41
NOT FOR CONSTRUCTION



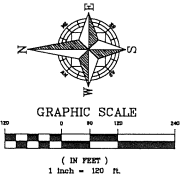
2221 LEE ROAD, SUITE 17
WINTER PARK, FLORIDA 32789
(407) 960-5868

BOARD OF PROFESSIONAL
ENGINEERING CERTIFICATE
NO. 32174

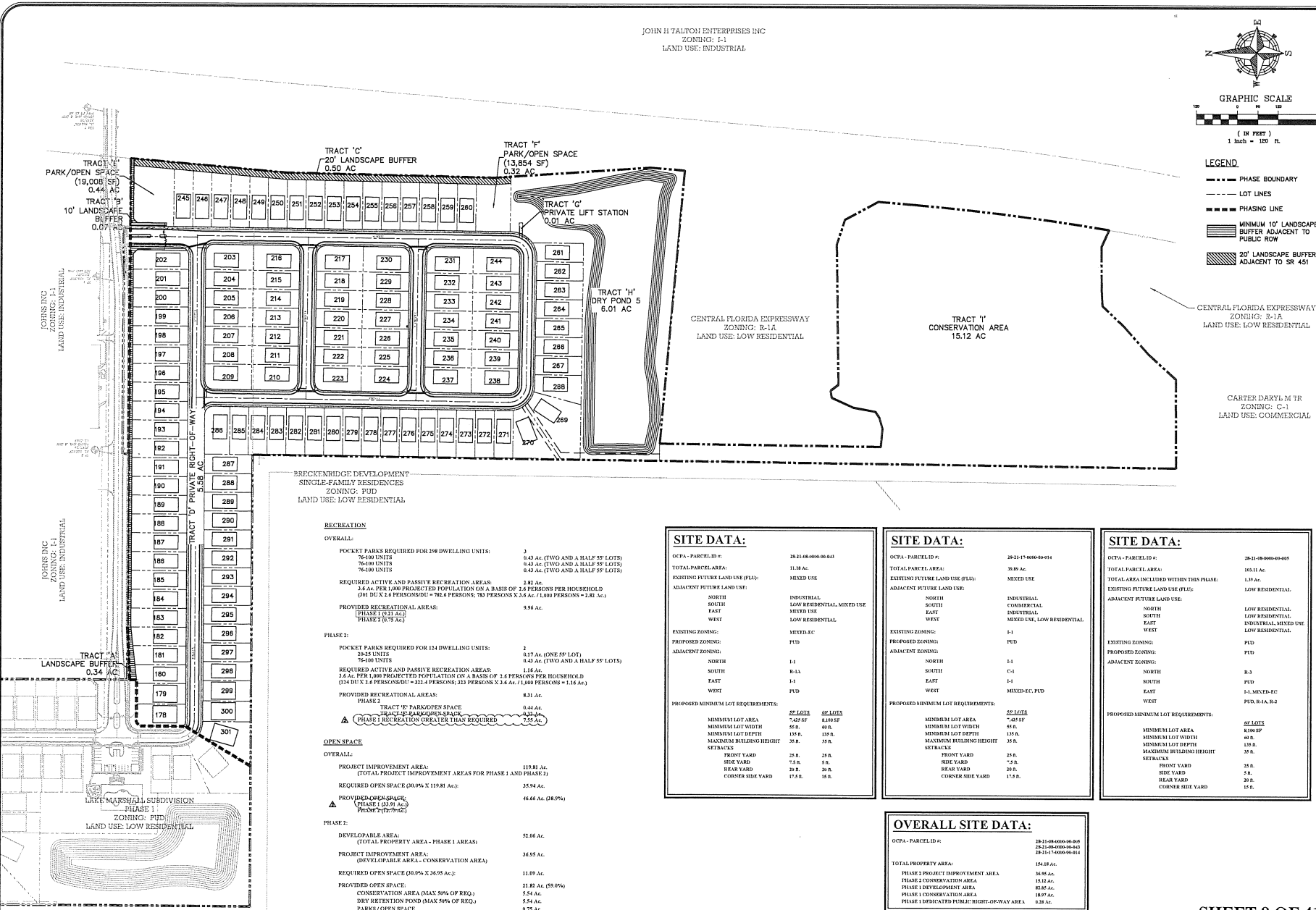
PERMITS REQUIRED			
AGENCY	PERMIT TYPE	DATE APPLIED	DATE APPROVED
CITY OF APOPKA	SITE PERMIT		
S.J.R.W.M.D.	CEP		
F.D.E.P.	WATER		
F.D.E.P.	WASTEWATER		
F.D.E.P.	NPDES		

REV.	DATE	DESCRIPTION
10/24/17	CITY OF APOPKA COMMENTS DATED 10/24/17 THRU 10/27/17	
01/18/18	CITY OF APOPKA COMMENTS DATED 01/18/18	
01/31/18	CITY OF APOPKA COMMENTS DATED 01/31/18	

JOHN H TALTON ENTERPRISES INC
ZONING: I-1
LAND USE: INDUSTRIAL



LEGEND
 - - - PHASE BOUNDARY
 --- LOT LINES
 - - - PHASING LINE
 [Hatched Box] MINIMUM 10' LANDSCAPE BUFFER ADJACENT TO PUBLIC ROW
 [Hatched Box] 20' LANDSCAPE BUFFER ADJACENT TO SR 451



BRECKENRIDGE DEVELOPMENT
SINGLE-FAMILY RESIDENCES
ZONING: PUD
LAND USE: LOW RESIDENTIAL

RECREATION
OVERALL:
 POCKET PARKS REQUIRED FOR 298 DWELLING UNITS: 3
 76100 UNITS: 0.40 AC (TWO AND A HALF 55' LOTS)
 76100 UNITS: 0.40 AC (TWO AND A HALF 55' LOTS)
 76100 UNITS: 0.40 AC (TWO AND A HALF 55' LOTS)
 REQUIRED ACTIVE AND PASSIVE RECREATION AREAS: 2.81 AC
 3.8 AC PER 1,000 PROJECTED POPULATION ON A BASIS OF 2.6 PERSONS PER HOUSEHOLD (0.81 DU X 2.6 PERSONS/DU = 212.6 PERSONS, 783 PERSONS X 2.6 AC / 1,000 PERSONS = 2.01 AC.)
 PROVIDED RECREATIONAL AREAS:
 PHASE 1 (0.75 AC)
 PHASE 2 (0.75 AC)
PHASE 1:
 POCKET PARKS REQUIRED FOR 124 DWELLING UNITS: 1
 3024 UNITS: 0.17 AC (ONE 55' LOT)
 76100 UNITS: 0.40 AC (TWO AND A HALF 55' LOTS)
 REQUIRED ACTIVE AND PASSIVE RECREATION AREAS: 1.16 AC
 3.4 AC PER 1,000 PROJECTED POPULATION ON A BASIS OF 2.6 PERSONS PER HOUSEHOLD (124 DU X 2.6 PERSONS/DU = 322.4 PERSONS, 223 PERSONS X 2.6 AC / 1,000 PERSONS = 1.16 AC.)
 PROVIDED RECREATIONAL AREAS:
 PHASE 1 (0.41 AC)
 PHASE 2 (0.75 AC)
 TRACT 'E' PARK/OPEN SPACE: 0.44 AC
 TRACT 'F' PARK/OPEN SPACE: 13,854 SF
 PHASE 1 RECREATION GREATER THAN REQUIRED: 7.55 AC

OPEN SPACE
OVERALL:
 PROJECT IMPROVEMENT AREA: 119.81 AC
 (TOTAL PROJECT IMPROVEMENT AREAS FOR PHASE 1 AND PHASE 2)
 REQUIRED OPEN SPACE (0.04% X 119.81 AC): 35.91 AC
 PROVIDED OPEN SPACE:
 PHASE 1 (0.91 AC)
 PHASE 2 (0.75 AC)
PHASE 2:
 DEVELOPABLE AREA: 52.06 AC
 (TOTAL PROPERTY AREA - PHASE 1 AREAS)
 PROJECT IMPROVEMENT AREA:
 (DEVELOPABLE AREA - CONSERVATION AREA)
 11.89 AC
 REQUIRED OPEN SPACE (0.04% X 36.95 AC): 13.62 AC
 PROVIDED OPEN SPACE:
 CONSERVATION AREA (MAX 90% OF REQ.)
 5.54 AC
 DRY RETENTION POND (MAX 90% OF REQ.)
 5.54 AC
 PARKS / OPEN SPACE
 0.75 AC
 LANDSCAPE BUFFER
 0.34 AC
 PHASE 1 OPEN SPACE GREATER THAN REQUIRED: 20.40 AC

SITE DATA:

OCPA - PARCEL ID #:	28-21-08-0000-00-043
TOTAL PARCEL AREA:	11.18 AC
EXISTING FUTURE LAND USE (PLD):	MIXED USE
ADJACENT FUTURE LAND USE:	
NORTH	INDUSTRIAL
SOUTH	LOW RESIDENTIAL, MIXED USE
EAST	MIXED USE
WEST	LOW RESIDENTIAL
EXISTING ZONING:	MIXED-EC
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH	I-1
SOUTH	R-1A
EAST	I-1
WEST	PUD
PROPOSED MINIMUM LOT REQUIREMENTS:	
	55' LOTS
MINIMUM LOT AREA	7,425 SF
MINIMUM LOT WIDTH	55.0'
MINIMUM LOT DEPTH	135.0'
MAXIMUM BUILDING HEIGHT	35.0'
SETBACKS	
FRONT YARD	25.0'
SIDE YARD	7.5'
REAR YARD	20.0'
CORNER SIDE YARD	17.5'

SITE DATA:

OCPA - PARCEL ID #:	28-21-08-0000-00-014
TOTAL PARCEL AREA:	39.89 AC
EXISTING FUTURE LAND USE (PLD):	MIXED USE
ADJACENT FUTURE LAND USE:	
NORTH	INDUSTRIAL
SOUTH	COMMERCIAL
EAST	INDUSTRIAL
WEST	MIXED USE, LOW RESIDENTIAL
EXISTING ZONING:	I-1
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH	I-1
SOUTH	I-1
EAST	I-1
WEST	MIXED-EC, PUD
PROPOSED MINIMUM LOT REQUIREMENTS:	
	55' LOTS
MINIMUM LOT AREA	7,425 SF
MINIMUM LOT WIDTH	55.0'
MINIMUM LOT DEPTH	135.0'
MAXIMUM BUILDING HEIGHT	35.0'
SETBACKS	
FRONT YARD	25.0'
SIDE YARD	7.5'
REAR YARD	20.0'
CORNER SIDE YARD	17.5'

SITE DATA:

OCPA - PARCEL ID #:	28-21-08-0000-00-005
TOTAL PARCEL AREA:	103.11 AC
TOTAL AREA INCLUDED WITHIN THIS PHASE:	1.59 AC
EXISTING FUTURE LAND USE (PLD):	LOW RESIDENTIAL
ADJACENT FUTURE LAND USE:	
NORTH	LOW RESIDENTIAL
SOUTH	LOW RESIDENTIAL
EAST	INDUSTRIAL, MIXED USE
WEST	LOW RESIDENTIAL
EXISTING ZONING:	PUD
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH	R-3
SOUTH	PUD
EAST	I-1, MIXED-EC
WEST	PUD, R-1A, R-2
PROPOSED MINIMUM LOT REQUIREMENTS:	
	55' LOTS
MINIMUM LOT AREA	8,100 SF
MINIMUM LOT WIDTH	60.0'
MINIMUM LOT DEPTH	135.0'
MAXIMUM BUILDING HEIGHT	35.0'
SETBACKS	
FRONT YARD	25.0'
SIDE YARD	7.5'
REAR YARD	20.0'
CORNER SIDE YARD	17.5'

OVERALL SITE DATA:

OCPA - PARCEL ID #:	28-21-08-0000-00-005
28-21-08-0000-00-043	
28-21-08-0000-00-014	
TOTAL PROPERTY AREA:	154.19 AC
PHASE 2 PROJECT IMPROVEMENT AREA	36.45 AC
PHASE 2 CONSERVATION AREA	15.12 AC
PHASE 1 DEVELOPMENT AREA	82.62 AC
PHASE 1 CONSERVATION AREA	18.97 AC
PHASE 1 DEDICATED PUBLIC RIGHT-OF-WAY AREAS	0.20 AC

CIVIL ENGINEERING & LAND PLANNING
 APPIAN ENGINEERING LLC.
 2201 Lake Nona Blvd., Suite 100, Winter Park, Florida 32789
 PHONE: 407-950-1988
 WWW.APPIANENGINEERING.COM

MASTER PLAN
 PUD MASTER PLAN/PDP
 LAKE MARSHALL SUBDIVISION - PHASE 2
 CITY OF APOPKA, FLORIDA

SCALE: 1" = 120'
 PROJECT: ROY-001
 SHEET: C2.1
 DATE: 7/13/2017



SHEET 8 OF 41
 NOT FOR CONSTRUCTION

LAKE MARSHALL PHASE 2 MASTER PLAN DEVELOPMENT STANDARDS

A. Design Standards

1. LOT CRITERIA:

Description	Single-Family Detached 60' Lot	Single-Family Detached 55' Lot
Lot Setbacks ⁽¹⁾		
Front Porch ⁽²⁾	15'	15'
Front	25'	25'
Rear	20'	20'
Side	5'	7.5'
Side Corner	15'	N/A
Garage	25' ⁽⁵⁾	25' ⁽⁵⁾
Accessory Structure Rear	5'	5'
Lot Dimensions		
Min. Average Lot Area	8,100 SF	7,425 SF
Min. Lot Width	60' ⁽³⁾	55' ⁽⁴⁾
Min. Lot Depth	135'	135'
Max. Lot Coverage	75%	75%
Max. Building Height	35'/2 Stories	35'/2 Stories
Min. Living Area	1,600 SF	1,600 SF

(1) See Sheet C3.6 for depiction of conceptual typical site plans.

(2) Front porch setback as allowed per City of Apopka Development Design Guidelines 3.2.1.

(3) Minimum lot width may be reduced to 40' around curves so long as lot width at the building line is 60' minimum.

(4) Minimum lot width may be reduced to 35' around curves so long as lot width at the building line is 55' minimum.

(5) A deviation from the City of Apopka's requirement of a 30' garage setback is hereby requested.

B. Architectural, Buildings, and Accessory Structures

1. Architectural design shall meet the intent of City of Apopka Development Design Guidelines or unless otherwise stated.
2. All lots shall have detached single family homes.
3. Each individual single-family home shall have a minimum of two (2) bedrooms.
4. All lots shall have attached minimum two (2) car garages.
5. A deviation from the City of Apopka Development Design Guidelines is hereby requested to allow for side-entry, flush, recessed, and protruding garage styles throughout the Lake Marshall Subdivision.
6. Mail delivery for all lots within both phases of the Lake Marshall Subdivision shall occur at mail kiosk with cluster mailbox units. Approval from the Postmaster of the mail kiosks and their location shall be submitted prior to approval of the Final Development Plan.
7. AC condenser units & similar equipment placed in the side yard area shall be screened with landscaping or opaque fencing.
8. Storage sheds or similar storage facilities shall not be allowed.
9. Swimming pools shall be allowed on all lots.

- a) Swimming Pools must be in-ground type. Above Ground Pools are prohibited.
 - b) Swimming pools and decks are prohibited from projecting beyond the side wall facade.
10. Screen enclosures over swimming pools and their respective deck area with non-metal or non-vinyl roofs shall be allowed.
- a) Screening shall be dark mesh. Opaque, semi-opaque or clear panels on the walls or roofs are prohibited.
11. Screen enclosures with metal, vinyl, or screen mesh roofs over non-swimming pool decks are prohibited.
12. Architectural Design Standards:
- a) Architectural styles shall be determined prior to Final Development Plan approval, and these shall meet the intent of to the City of Apopka's Development Design Guidelines except as noted on these Development Standards. Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
 - b) A deviation from the City of Apopka Development Design Guidelines is hereby requested for all 60' lots with 50' wide homes to allow for the garage to cover a maximum of 60% of the length of the front primary façade only in the case a three (3) car garage is selected by the homebuyer.
 - c) Front facade materials such as cultured stone veneer, stucco, & fiber cement siding shall be utilized to be consistent with the applicable Architectural Style.
 - d) Minimum roof pitch over the main house and garage shall be 5/12. Roof pitch over porches shall be a minimum of 4/12.
 - e) 30-year asphalt shingle shall be installed on all roofs. 3-tab shingles are prohibited. Single shingle color shall be used for uniformity throughout the community.
 - f) Aluminum fascia and soffit shall be standard for all houses. Single Fascia and soffit color shall be used for uniformity throughout the community.
 - g) Trim around windows and doors shall be painted a different color from the body of the house. Doors may be painted either the same as the trim or separate accent color.
 - h) Pavers shall be installed in front yard driveways and lead walks.
13. Front Building Entrance Elevation Design Standards:
- a) Front porches & porticos at grade level.
 - b) Identical model plan type shall not be constructed on neighboring lots who share a side yard property boundary line without a different elevation style type.
 - c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line.
 - d) Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
14. Rear Elevation Design Standards:
- a) Large expanses of solid wall shall be avoided thru use of windows, wall features, or wall / roof jogs.
 - b) Window grid patterns and window banding & trim shall match front elevation windows.
 - c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line
 - d) Modification or replacement of the exterior elevation can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
15. Mail Kiosk Elevation Design Standards:

- a) Elevation shall be compatible with the architectural elevation styles of the homes & mail kiosk within the community.
16. Individual Lot Front & Rear Yard Fencing Standards:
- a) Maximum height of a fence shall be 6'-0" above final grade. When abutting a common area wall, the fence height shall taper to the height of the wall across a horizontal distance no less than 8'-0".
 - b) Rear yard fences shall not project more than five feet (5') beyond rear side wall building corner.

C. Utilities and Infrastructure

1. Water service shall be provided by the City of Apopka. The water system shall be designed to City standards.
2. Reclaim water service shall be provided by the City of Apopka. The reclaim water system shall be designed to City standards.
3. Stormwater management system shall be designed to comply with the design standards of this Master Plan and the St. Johns River Water Management District.
4. A final drainage report and soils report will be submitted with the Final Development Plan.
5. Sanitary service shall be provided by the City of Apopka. The sanitary system shall be designed to City of Apopka standards.
6. Utility easements shall be dedicated to the City of Apopka.
7. Drainage easements to be dedicated to the Home Owners' Association unless otherwise required by the City of Apopka.
8. All stormwater and utility pipes may be moved to save existing trees in the right-of-way. Any change in the location of these pipes will be shown on the Final Development Plan.
9. On-site streets are to be constructed per City of Apopka standards.
10. Stabilized access roadways and fire hydrants must be in place before building construction may begin.
11. Solid waste collection and public safety (police and fire) provided by the City of Apopka.
12. The internal street right-of-way is to be private.
13. Five-foot (5') wide sidewalks are to be constructed adjacent to internal roads throughout the entire project in compliance with the City of Apopka Land Development Code. Sidewalk alignment may be adjusted at final development plan to preserve existing trees.
14. Garages shall be accessed from the adjacent public right-of-way at the front of the lot for all lots.
15. Power service within the development shall be underground. No overhead service will be allowed.
16. Vehicular, Pedestrian and Accent lighting shall substantially conform the Section 3.10 – Lighting of the City of Apopka Development Design Guidelines.
17. Based upon the Lake Marshall Subdivision Phase 1 and Phase 2 total daily trip generation of 2,896 vehicles, the provision of one southbound deceleration lane on Bradshaw Road and one eastbound left turn lane on John's Road at the intersection of John's Road and Bradshaw Road to the east of the development are warranted. These are in addition to the northbound deceleration lane on Bradshaw Road warranted prior to the completion of the 87th residential unit within the entire Lake Marshall Subdivision.

D. Recreation and Open Space

1. Required project open space shall be a minimum of 30% of the developed site area in accordance with City of Apopka LDC Section 2.02.18(D)(19).
2. Required project recreation shall be provided at a rate of 3.6 acres per 1,000 population with 2.6 population per dwelling unit.

3. All parks and open space within the limits of Phase 1 of the Lake Marshall Subdivision shall be accessible to and account towards required recreation and open space areas for Phase 2 per the Lake Marshall Subdivision Phase 1 Planned Unit Development Master Plan/Preliminary Development Plan.
4. Tracts E and F will incorporate pedestrian circulation, benches, and open play areas. Specific park site plans and amenities/equipment shall be provided with the Final Development Plan.

E. Buffers and Landscaping

1. A twenty-foot (20') densely vegetated/landscaped tract will be provided along the rear of Lots 242-257 and Tracts 'E' and 'F' to provide buffering from the adjacent SR 451 right-of-way. This tract shall be dedicated to and maintained by the H.O.A. The design of this buffer tract shall generally follow the landscape design appearing on sheets LS-02 and LS-04 of the Master Plan/Preliminary Development Plan.
2. A minimum ten-foot (10') wide buffer tract for landscaping will be provided along the rear of lots 175-199 to provide buffering from the Johns Road right-of-way. This tract shall be dedicated to and maintained by the H.O.A. The design of this buffer shall generally follow the landscape design appearing on sheets LS-01, LS-02, LS-04, and LS-05 of the Master Plan/Preliminary Development Plan.
3. Main access for Phase 2 will be through the Main Entrance located within the Phase 1 limits of the Lake Marshall Subdivision.
4. Entrance provided within the Phase 2 limits is to be a secondary, resident-only access, which will also be accessible to Phase 1 of the Lake Marshall Subdivision.
5. Entrance feature and community sign details will be provided with the Final Development Plan.
6. Final landscape plans for the buffer areas along the proposed main entrance at John's Road will be provided with the Final Development Plan.
7. Tree Planting Conditions. Minimum of three (3) new trees shall be planted per 55' and 60' residential lot. The new trees shall be a minimum of three inches (3") DBH at the time of planting and shall count toward the overall number of required tree replacement inches, if any.
8. Tree Protection Plan - The Final Development Plan shall include tree protection techniques to prevent harm to any trees designate to be preserved or encroachment into protected natural areas, including but not limited to tree barricades, silt fencing or other similar techniques accepted by the City Engineer.

F. Maintenance and Plat

1. The Lake Marshall Home Owners' Association will maintain common areas, fences/walls, and landscaping within the front and corner yards of all lots. The HOA shall also be responsible for maintenance of streets, street lighting, and stormwater collection systems within the right-of-way and drainage easements within the Lake Marshall Subdivision.
2. The Final Development Plan shall include the plat document, and the plat shall be in final form.

G. Wetlands and Environmental

1. There is one wetland area onsite. It is entirely located within the Tract 'I' Conservation Area.
2. There are no areas within a FEMA floodplain onsite.
3. An erosion control plan will be submitted with the Final Development Plan.

4. Tree removal, tree replacement, and landscaping shall comply with Water Wise Ordinance 2069 and shall be consistent with Article V of the City of Apopka Land Development Code.
5. Individual lot arbor/clearing permit is required prior to clearing or grading of any lot or issuance of building permit. Placement of the house shall preserve existing trees to the greatest extent practical. Plot plan for each lot shall illustrate tree locations as presented within the PUD Master Plan\ Preliminary Development Plan.

H. Development Condition Continuity

The PUD Development Standards shall be printed within the PUD Master Plan and the Final Development Plan.

I. Signage

Signage shall comply with Article 8 of the City of Apopka Land Development Code and with the City of Apopka Development Design Guidelines.

J. Lighting

Lighting shall comply with the City of Apopka's City Ordinance No. 2069 and Section 3.10 of the City of Apopka Development Design Guidelines. Street and parking area or pedestrian path light poles shall be decorative type. Details will be provided with the Final Development Plan.

L. Miscellaneous

1. Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction. Permits shall be applied for and issued by the appropriate agencies.
2. All acreages are subject to change with final engineering and final plat review and approval.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: April 4, 2018
 FROM: Community Development
 Zoning Report
 EXHIBITS: Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Use Map
 Ordinance No. 2639
 Ex A - Revelle Survey – Location
 Ex B - Master Site Plan Sheet
 Ex C - Landscape Plan Sheet
 Ex D - Entire PUD Master Plan\ PDP Plan

SUBJECT: ORDINANCE NO. 2639 – CHANGE OF ZONING – THOMPSON HILLS ESTATES LLC (OAK POINTE SOUTH PUD); AND OAK POINTE PUD MASTER PLAN AMENDMENT.

REQUEST: FIRST READING OF ORDINANCE NO. 2639 – CHANGE OF ZONING FROM “COUNTY” A-1 TO “CITY” PLANNED UNIT DEVELOPMENT (PUD) FOR THE REVELLE PARCEL; AMENDING ORDINANCE NO. 2584 TO INCORPORATE REVELLE PARCEL INTO THE LEGAL DESCRIPTION; TO INCREASE THE MAXIMUM NUMBER OF TOWNHOMES TO 120; AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY:

OWNERS: Jason C. Revelle, Thompson Hills Estates, LLC

APPLICANT: Evans Engineering, Inc.

LOCATION: East of Ocoee-Apopka Road, north of McCormick Road

EXISTING USE: Single-family residence (Revelle Parcel\Jones Addition); and Existing Oak Pointe PUD Residential Community (vacant)

PARCEL ID NUMBERS: 29-21-28-0000-00-037; 29-21-28-0000-00-011; 29-21-28-0000-00-016; 29-21-28-0000-00-033; 29-21-28-0000-00-038; 32-21-28-0000-00-004; 32-21-28-0000-00-030

FLUM DESIGNATION: Residential Low (0–5 un/ac) (Revelle Parcel & existing Oak Pointe PUD)

CURRENT ZONING: Orange County A-1, City of Apopka PUD

PROPOSED DEVELOPMENT: Add the 0.97 acre Revelle parcel to boundaries of the Oak Pointe PUD; and increase the number of townhomes in the Oak Pointe PUD from 106 to 120 units; 118 single family homes and 120 townhome units (238 units total)

PROPOSED ZONING: Planned Unit Development (PUD)

TRACT SIZE: Parcel to be rezoned -- 0.97 acres (+/-)
 Total PUD area -- 69.38 +/- acres

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL INFORMATION: On December 20, 2017 the City Council approved Ordinance 2584, which approved a PUD Master Plan for a 69.7 acre residential development known as Oak Pointe. The approved Oak Pointe PUD Master Plan consists of 118 single-family and 106 townhome units. Prior to the approval of Ordinance 2584, the property owner of the Oak Pointe PUD entered into an agreement to purchase a 0.96 acre parcel located at 1751 Irmalee Lane, which is currently owned by Jason C. Revelle. The Revelle Parcel (aka Jones Additon) is surrounded by and interior to the Oak Pointe PUD. The legal description for Ordinance 2584, and the approved Oak Pointe PUD Master Plan did not include the legal description Mr. Revelle’s property. As a result, the applicant is requesting the following actions:

- 1) Rezone Mr. Revelle’s property from Orange County A-1 to City of Apopka PUD (Planned Unit Development).
- 2) Incorporate the legal description of Mr. Revelle’s property into the overall legal description of Ordinance 2584 (the Oak Pointe PUD).
- 3) Amend the Oak Pointe PUD Master Plan to include six townhome units on Mr. Revelle’s property, and eight additional townhomes within the existing Oak Pointe PUD, adjacent to Tract L-3, for an increase in the amount of townhomes in the Oak Pointe PUD from 106 to 120. There will be no increase in the amount of single-family units located within the Oak Pointe PUD. No other changes are proposed to the Oak Pointe PUD.
- 4) The Revelle parcel, when incorporated into the Oak Pointe PUD, will be owned by Thompson Hill Estates LLC, and will be subject the terms and conditions sheet forth in the Oak Pointe PUD and its development agreement.

PROJECT DESCRIPTION: The amended PUD Master Plan includes 120 townhomes and 118 single family homes within a gated community with private streets. A single master homeowners association will serve both the single family homes and townhomes. The following development standards are proposed:

- Single family lots typically have a minimum width of 70 feet and a minimum lot area of 8,400 sq. ft., a minimum house livable area of 1,500 sq. ft., and a minimum two-car enclosed garage. A small percentage of single family lots (6.8% totaling 8 lots) have a minimum typical lot width of 65 feet and a minimum lot area of 7,800 sq. ft., also with a minimum house livable area of 1,500 sq. ft. and a minimum two-car enclosed garage. No three-car garages are allowed.
- Townhomes will have a minimum lot width of 23 feet and a minimum lot area of 2,530 sq. ft. All townhome units offer a one-car enclosed garage. No two-car enclosed garages are proposed by the developer. Seventy-five (75) units have a one-car driveway; 31 units have a two-car driveway. On-Street parking and a parking lot are provided for the townhomes and community park (Tract K-6).
- Two parks are provided and will be accessible to all residents. Tract N-1 provides a community swimming pool and a cabana with a parking lot. A second community park provides outdoor recreation on 2.03 acres (Tract K-6) and includes a fenced-in dog park.
- Access to the Oak Pointe Community will occur through a road connection to McCormick Road and a future road connection to Ocoee-Apopka Road. A gate will be located at both the north and south entrances. An emergency gate will be located on the eastern boundary, connecting to Pelock Drive within the Apopka Woods community.

- Perimeter buffers include: a ten foot buffer with a six-foot high brick wall along the western property line adjacent to S.R. 429, a six-foot high vinyl fence within a ten foot buffer next to the Apopka Woods community and next to the County’s Northwest Reclamation facility.

Existing Conditions: The Oak Point PUD consists of 69.38 acres serviced by a gated private right-of-way noted on the Master Plan as Street “I”. The site typically has a flat topography with no wetlands. The property is located along the north side of McCormick Road. The City of Ocoee is situated along the south side of McCormick Road. The proposed residential PUD Master Plan abuts land zoned commercial located to the south. The commercial land is not part of the PUD and is located between McCormick Road and the single family residential area delineated on the Master Plan. Located to the east of the site is Apopka Woods a 76 lot, single family residential neighborhood. Typical lots within Apopka Woods have a minimum width of 70 feet and a minimum land area of 7,500 sq. ft. The Orange County Northwest Reclamation Water Facility is located on portions of the northern and northwest boundaries of the property. Directly to the south of Oak Pointe is a private gated residential community located in the City of Ocoee; McCormick Woods, with typical lot sizes of 70 x 125 (8,750 sq. ft.).

Annexation History: The subject properties were annexed into the City via Ordinance 1651 on December 18, 2002.

Amenities: The Master Plan includes two recreation tracts:

1. Tract N-1 – 0.8 acres

- Swimming Pool.
- Pool area surrounded by a 36” viburnum hedge, crepe myrtles, magnolia trees, live oak trees, and approved ground cover.
- Pool parking lot - 13 parking plus one handicap parking space.
- Bike rack located adjacent to parking lot.
- 2,200 +/- SF Cabana located next to the pool surrounded by landscaping that blends with the pool landscaping.
- The cabana will be partially open, with the open area surrounded by a four foot metal guardrail/fence.
- A paved sidewalk from the Cabana connects to the sidewalk along Street I.
- An outdoor shower will be placed on both the east and west sides of the building.
- The pool and cabana are appropriately located near the center of the development, easily accessible to both the single family residential units and the townhome.

2. Tract K-6 – 2.05 acres

- Two multi-purpose playing fields.
- Mulched walking trail around the perimeter of the Tract.
- Paved sidewalk will placed along the west side of the park, connecting Street I with the Tot Lot, Dog Park, and parking lot.
- Paved sidewalk will connect the parking lot at Tract O-1 with the paved sidewalk along the west side of the park.
- Three picnic tables.
- Litter receptacle - 24” X 30” size.
- Eight benches, each with armrests.
- Tot Lot with playground equipment – slides, climbing equipment.
- Dog park with five foot high vinyl coated chain link fence, screened with a viburnum hedge.
- Dogipot aluminum pet station with pet waste receptacle.
- Dog park will be handicap accessible.

- Bike rack located in Tract K-5, between the parking lot and sidewalk along the west side of the park.
- Pedestrian level lighting
- Park area surrounded by a viburnum hedge, sabal palms, crepe myrtles, magnolia trees, live oak trees, and approved ground cover.

PUD RECOMMENDATIONS: That the zoning classification for the Revelle Parcel is proposed to be PUD and the amendment to the Oak Point PUD incorporates the Revelle property into its boundaries. A summary of the amendments are as follows:

1. The Oak Pointe PUD is amended to include the Ravelle property. (Parcel identification number: 29-21-28-0000-00-037)
2. The Ravelle property shall be subject to all the development standards and conditions set forth in Ordinance 2584.
3. The Ravelle property shall be subject to any Development Agreement approved by the City Council for the Oak Pointe PUD.
4. The maximum number of townhome units for the Oak Pointe PUD is increased from 106 to 120.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Residential Low Future Land Use designation and is consistent with the Land Development Code subject to the recommended DRC development conditions.

SCHOOL CAPACITY REPORT: The current capacity enhancement agreement must be amended with OCPS or a letter provided by OCPS prior to City approval of a final development.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County is not required for a rezoning application as the subject parcel being incorporated into the PUD is not adjacent to unincorporated Orange County. As a courtesy, the City notified Orange County and the City of Ocoee on February 21, 2018.

PUBLIC HEARING SCHEDULE:

March 13, 2018 - Planning Commission (5:30 pm)
April 4, 2018 - City Council (1:30 pm) - 1st Reading
April 18, 2018 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

February 27, 2018 – Public Notice; Letter, Poster
February 23, 2018 – Public Notice (Apopka Chief)

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and Land Development Code and recommends approval of the amended Oak Pointe Planned Unit Development Master Plan/Preliminary Development Plan subject to the DRC Conditions of Approval.

The **Planning Commission**, at its meeting on March 13, 2018, the Planning Commission found the proposed amendments to be consistent with the Comprehensive Plan and Land Development Code; and unanimously recommended approval of the rezoning of the Revelle Parcel from “County” A-1 to “City” PUD (Planned Unit Development); to amend Ordinance No. 2584 to incorporate the Revelle Parcel into the legal description; and to amend the Oak Pointe PUD Master Plan/Preliminary Development Plan to increase the maximum number of townhomes to 120.

City Council: Accept the First Reading of Ordinance 2639 and Hold it Over for Second Reading and Adoption on April 18, 2018

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (0-1 du/10 ac)	A-1	Northwest Water Reclamation Facility
East (City)	Residential Low (0-5 du/ac)	R-2	Apopka Woods subdivision
South (City)	Commercial (max 0.25 FAR)	C-1	Vacant commercial\McCormick Rd
West (City & County)	“City” Mixed Use & “County” Rural (0-1 du/10 ac)	Mixed-EC & A-1	SR 429 ROW & Retention Pond

LAND USE &

TRAFFIC COMPATIBILITY:

The property has access to a Major Arterial roadway (McCormick Road) and future access to Ocoee Apopka Road to the north. A proposed internal spine road be a private gated road and provide connectivity to both Ocoee Apopka Road to the north and McCormick Road to the south for future residents of Oak Pointe. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential and rural.

**COMPREHENSIVE
 PLAN COMPLIANCE:**

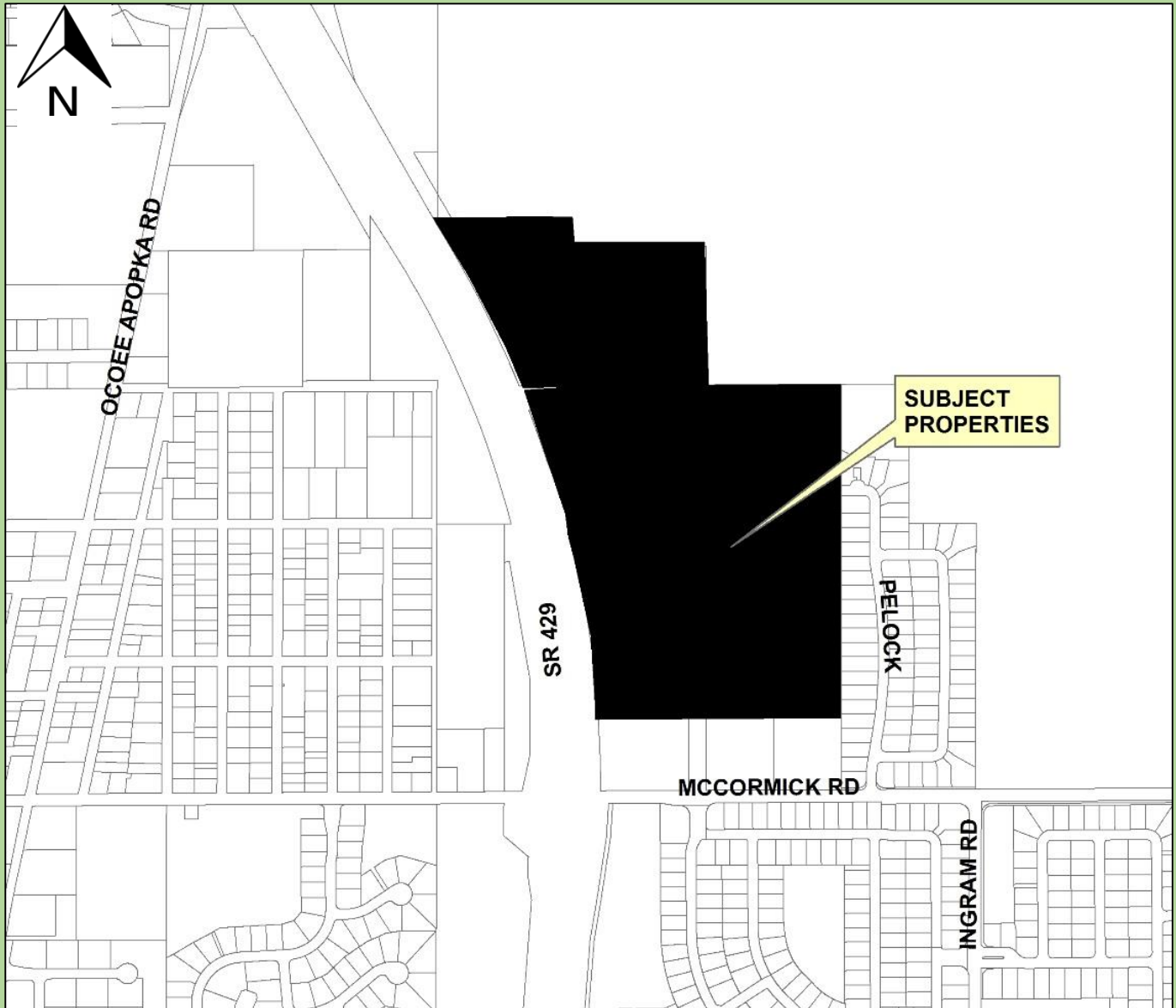
The proposed PUD zoning is compatible with policies set forth in the Comprehensive Plan.

**ALLOWABLE
 USES:**

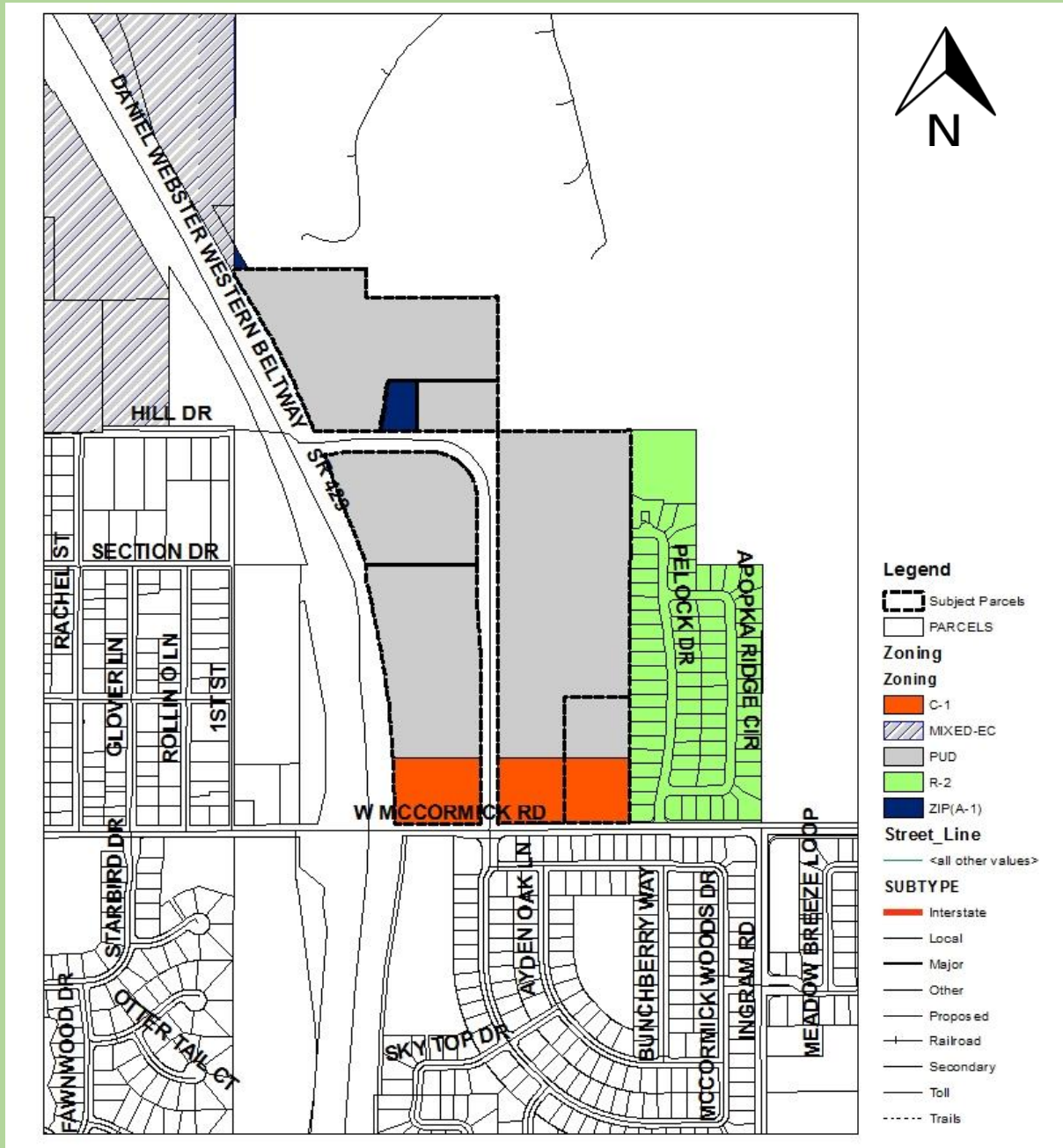
Single-family and townhome residential uses set forth within the Planned Unit Development Master Plan.

Thompson Hills Estates LLC (Oak Pointe PUD)
0.97 +/- Acres
Proposed Change of Zoning:
From: Orange County A-1
To: Planned Unit Development (New Master Site Plan)
Parcel ID #: 29-21-28-0000-00-037

VICINITY MAP



ADJACENT ZONING





ADJACENT USES



ORDINANCE NO. 2639

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 TO “CITY” PLANNED UNIT DEVELOPMENT (PUD) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF MCCORMICK ROAD AND EAST OF STATE ROAD 429, SPECIFICALLY AT 1751 IRMALEE LANE, COMPRISING 0.96 ACRES MORE OR LESS, AND OWNED BY JASON C. REVELLE; AND AMENDING ORDINANCE NUMBER 2584 TO INCORPORATE SAME CERTAIN REAL PROPERTY INTO THE LEGAL DESCRIPTION THEREIN AND INCREASE THE MAXIMUM NUMBER OF TOWNHOMES THEREIN TO 120; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section II of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

WHEREAS, the parcel owned by Jason C. Revelle shall be included as part of the boundaries for the Oak Pointe PUD Master Plan.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property (aka Revelle Parcel) be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and is incorporated into the legal boundaries of the Oak Pointe Planned Unit Development Master Plan and shall be subject to the same Master Plan provisions, conditions, terms, and requirements set forth by Ordinance No. 2584.

Section II. The Legal Boundaries of the Revelle Parcel assigned the Planned Unit Development zoning category is:

Legal Description: FROM THE SE COR OF THE NORTH 1/2 OF THE SE1/4 OF THE SW 1/4 SEC 29-21-28; RUN N 89 DEG W 404.10 FT TO THE POB: RUN N 89 DEG W 183. FT; N 08 DEG E 255.56 FT S 89 DEG E 148.04 FT : THENCE SOUTH 00 DEG 252.94 FT TO POB.
Parcel No : 29-21-28-0000-00-037
Acres: 0.96 +/- acres

ORDINANCE NO. 2639

PAGE 2

Section III. That the legal boundaries described within Exhibit “B” of Ordinance No. 2584 are amended to include the Revelle Parcel and replaced with legal description is as follows:

Legal Description: Exhibit “A” of Ordinance 2639.

Parcel ID Nos.: 29-21-28-0000-00-011; 29-21-28-0000-00-016; 29-21-28-0000-00-033; and Portions of: 29-21-28-0000-00-038; 32-21-28-0000-00-004; 32-21-28-0000-00-030; 29-21-28-0000-00-037

Combined Acreage: 97.7 +/- Acres

Section III. The Oak Pointe PUD Master Plan, Exhibit “A” of Ordinance 2584, is amended and replaced by Exhibit “B” of Ordinance 2639. Further, the maximum number of the of townhome residential units allowed within the Oak Pointe PUD Master Plan shall be 120 units.

Section IV. That the Community Development Director, or the Director’s designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: April 4, 2018

READ SECOND TIME
AND ADOPTED: April 18, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED: February 23, 2018; March 30, 2018

EXHIBIT "A"
LEGAL DESCRIPTION
(as provided on cover sheet of the Master Site Plan-Exhibit "A")

LEGAL DESCRIPTION:

TRACT 1:

A PARCEL OF LAND SITUATE IN SECTIONS 29 AND 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION 29, SAID POINT-OF-BEGINNING ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF IRMALEE LANE AS SHOWN ON OOCEA RIGHT-OF-WAY MAP, PROJECT NO. 75320-6460-604; THENCE RUN ALONG SAID RIGHT-OF-WAY LINE AND THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, NORTH 00°00'34" WEST, A DISTANCE OF 676.02 FEET TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29; THENCE RUN NORTH 89°36'10" EAST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, A DISTANCE OF 662.29 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4; THENCE RUN SOUTH 00°07'19" WEST ALONG THE EAST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, A DISTANCE OF 679.97 FEET TO THE SOUTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4; THENCE RUN SOUTH 00°05'25" WEST ALONG THE EAST LINE OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF AFORESAID SECTION 32, A DISTANCE OF 1299.53 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AN PARALLEL WITH THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 32, SAID LINE ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF WEST MCCORMICK ROAD AS LAID OUT AND IN USE; THENCE RUN SOUTH 89°44'22" WEST ALONG SAID RIGHT-WAY LINE, A DISTANCE OF 659.62 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF AFORESAID IRMALEE LANE; THENCE RUN NORTH 00°02'30" EAST ALONG SAID RIGHT-OF-WAY LINE AND THE WEST LINE OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 32, A DISTANCE OF 1301.88 FEET BACK TO THE POINT-OF-BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 1307158 SQUARE FEET OR 30.008 ACRES MORE OR LESS.

FOR THE PURPOSE OF THIS DESCRIPTION ALL BEARINGS ARE REATIVE TO THE FLORIDA STATE PLANE SYSTEM, NATIONAL ADJUSTED DATUM OF 1983 (NAD83), EAST ZONE TRANSVERSE MERCATOR, ZONE FL83-EF.

TRACT 2:

A PARCEL OF LAND SITUATE IN SECTIONS 29 AND 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 29, SAID POINT ALSO BEING ON THE EASTERLY RIGHT-OF-WAY LINE OF IRMALEE LANE AS SHOWN ON OOCEA RIGHT-OF-WAY MAP, PROJECT NO. 75320-6460-604; THENCE RUN SOUTH 89°58'41" WEST, A DISTANCE OF 105.10 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF SAID IRMALEE LANE AND THE POINT-OF-BEGINNING OF THE PARCEL INTENDED TO BE DESCRIBED;

THENCE FROM SAID POINT-OF-BEGINNING RUN ALONG SAID WESTERLY RIGHT-OF-WAY LINE FOR THE FOLLOWING THREE (3) COURSES, FIRST SOUTH 00°00'34" WEST, A DISTANCE OF 131.79 FEET; THENCE SOUTH 03°46'11" EAST, A DISTANCE OF 300.95 FEET; THENCE SOUTH 00°02'30" WEST, A DISTANCE OF 870.05 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 32, SAID LINE ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF WEST MCCORMICK ROAD AS LAID OUT AND IN USE; THENCE RUN SOUTH 89°46'26" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 432.05 FEET TO A POINT OF INTERSECTION WITH THE EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 429, AS SHOWN ON THE ORLANDO ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT-OF-WAY MAP, PROJECT NO. 75320-6460-604; THENCE ALONG THE SAID EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE FOR THE FOLLOWING FIVE (5) COURSES, THE FIRST BEING FROM A POINT ON A CURVE NON-TANGENT TO THE PRECEDING COURSE, CONCAVE TO THE WEST, HAVING A RADIUS OF 5071.07 FEET, A CHORD OF NORTH 06°38'25" WEST, 1230.71 FEET AND FROM WHICH A RADIAL LINE BEARS NORTH 89°49'25" WEST; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, SUBTENDED BY A CENTRAL ANGLE OF 13°56'23", A DISTANCE OF 1233.75 FEET TO A POINT OF NON-TANGENCY; THENCE NORTH 00°13'36" EAST, A DISTANCE OF 81.23 FEET; THENCE NORTH 21°02'59" WEST, A DISTANCE OF 218.39 FEET; THENCE NORTH 22°49'25" WEST, A DISTANCE OF 108.56 FEET TO A POINT ON A CURVE BEING NON-TANGENT TO THE PRECEDING COURSE, CONCAVE TO THE WEST, HAVING A RADIUS OF 5061.07 FEET, A CHORD OF NORTH 19°40'31" WEST, 265.41 FEET AND FROM WHICH A RADIAL LINE BEARS SOUTH 71°49'38" WEST; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, SUBTENDED BY A CENTRAL ANGLE OF 3°00'18", A DISTANCE OF 265.44 FEET TO A POINT OF INTERSECTION WITH THE AFORESAID RIGHT-OF-WAY LINE OF IRMALEE LANE; THENCE DEPARTING FROM SAID EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE, RUN ALONG THE RIGHT-OF-WAY LINE OF IRMALEE LANE FOR THE FOLLOWING FOUR (4) COURSES, FIRST NORTH 81°37'49" EAST, A DISTANCE OF 93.13 FEET; THENCE NORTH 89°44'46" EAST, A DISTANCE OF 433.52 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 235.00 FEET AND A CHORD OF SOUTH 45°07'54" EAST, 333.05 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, SUBTENDED BY A CENTRAL ANGLE OF 90°14'40", A DISTANCE OF 370.14 FEET TO THE END OF SAID CURVE; THENCE RUN SOUTH 00°00'34" EAST, A DISTANCE OF 334.61 FEET BACK TO THE POINT-OF-BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 990921 SQUARE FEET OR 22.748 ACRES MORE OR LESS.

FOR THE PURPOSE OF THIS DESCRIPTION ALL BEARINGS ARE REATIVE TO THE FLORIDA STATE PLANE SYSTEM, NATIONAL ADJUSTED DATUM OF 1983 (NAD83), EAST ZONE TRANSVERSE MERCATOR, ZONE FL83-EF

TRACT 3:

A PARCEL OF LAND SITUATE IN SECTION 29, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ORDINANCE NO. 2639

PAGE 4

BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, SAID POINT-OF-BEGINNING ALSO BEING AT THE NORTHEAST CORNER OF THE RIGHT-OF-WAY FOR IRMALEE LANE AS SHOWN ON THE OOCEA RIGHT-OF-WAY MAP, PROJECT NO. 75320-6460-604; THENCE RUN SOUTH 89°44'46" WEST ALONG SAID RIGHT-WAY LINE AND THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, A DISTANCE OF 404.10 FEET TO A POINT AT THE SOUTHEAST CORNER OF THOSE LANDS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED IN OFFICIAL RECORD BOOK 10023 AT PAGE 6676 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE TRAVERSE SAID LANDS FOR THE FOLLOWING THREE (3) COURSES, FIRST NORTH 00°05'38" EAST, A DISTANCE OF 252.94 FEET; THENCE SOUTH 89°44'46" WEST, A DISTANCE OF 148.04 FEET; THENCE SOUTH 07°57'26" WEST, A DISTANCE OF 255.56 FEET BACK TO THE AFORESAID RIGHT-OF-WAY OF IRMALEE LANE; THENCE RUN SOUTH 89°44'46" WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 330.19 FEET TO A POINT OF INTERSECTION WITH THE EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 429, AS SHOWN ON THE ORLANDO ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT-OF-WAY MAP, PROJECT NO. 75320-6460-604, SAID POINT BEING A POINT ON A NON-TANGENT CURVE, CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 5061.07 FEET, A CHORD OF NORTH 26°14'53" WEST, 640.22 FEET AND FROM WHICH A RADIAL LINE BEARS SOUTH 67°22'42" WEST; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, SUBTENDED BY A CENTRAL ANGLE OF 7°15'10", A DISTANCE OF 640.65 FEET; THENCE CONTINUE ALONG SAID LIMITED ACCESS RIGHT-OF-WAY LINE NORTH 29°36'57" WEST, A DISTANCE OF 237.79 FEET TO A POINT OF INTERSECTION WITH THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29; THENCE DEPARTING FROM SAID LIMITED ACCESS RIGHT-OF-WAY LINE AND ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, NORTH 00°04'09" EAST, A DISTANCE OF 37.87 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 150 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29; THENCE RUN NORTH 89°30'29" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 658.90 FEET TO THE EAST LINE OF SAID WEST 1/2; THENCE RUN SOUTH 00°01'48" WEST ALONG SAID EAST LINE, A DISTANCE OF 150.02 FEET TO THE SOUTH LINE OF THE EAST 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29; THENCE RUN NORTH 89°30'33" EAST ALONG SAID SOUTH LINE, A DISTANCE OF 659.01 FEET TO THE SOUTHEAST CORNER OF SAID EAST 1/2; THENCE RUN SOUTH 00°00'34" EAST ALONG THE EAST LINE OF SAID EAST 1/2, A DISTANCE OF 676.01 FEET BACK TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 990921 SQUARE FEET OR 22.748 ACRES MORE OR LESS.

Design Standards

Lot Criteria

Setback Table	Single Family	Townhomes
Front Porch(1)	19'	N/A
Front (Garage)	30'	22'
Front (Building)	25'	22'
Rear	20'	15'
Side	7.5'	10' Ext. 0' Int.
Side Street(2)	15'	15'
Accessory Structure Rear	5'	N/A
Lot Dimensions		
Minimum Lot Area	7,800 SF (0.179 AC)	2,530 SF
Minimum Lot Width	70' *	23'
Minimum Lot Depth	120'	110'
Max lot coverage	75%	75%
Max Building Height	35' / 2 stories	35' / 2 stories
Minimum Living Area	1,500 SF	1,350 SF

*MINIMUM LOT WIDTH NOTE:

THE FOLLOWING LOTS OF A MINIMUM LOT WIDTH OF 65': 9, 13, 17, 21, 69, 73, 77, 79

	Count	Percentage
65' Width Lots	8	6.8%
70' Width Lots	110	93.2%
Total Lots	118	100.0%

SINGLE- FAMILY LOT DATA:

Lot Number	Lot Width* (ft.)	Lot Area (ac.)	Lot Number	Lot Width* (ft.)	Lot Area (ac.)	Lot Number	Lot Width* (ft.)	Lot Area (ac.)
1	70.0	0.193	41	70.0	0.223	81	70.0	0.193
2	70.0	0.193	42	70.0	0.223	82	70.0	0.193
3	70.0	0.193	43	70.0	0.223	83	116.1	0.346
4	70.0	0.193	44	77.5	0.243	84	70.0	0.222
5	70.0	0.192	45	70.0	0.226	85	70.0	0.222
6	76.3	0.288	46	70.0	0.226	86	70.0	0.222
7	70.6	0.401	47	70.0	0.226	87	70.0	0.222
8	71.0	0.440	48	77.9	0.250	88	85.9	0.305
9	65.0	0.251	49	79.7	0.255	89	105.1	0.331
10	70.0	0.228	50	70.0	0.226	90	70.0	0.223
11	70.0	0.195	51	70.0	0.226	91	70.0	0.223
12	70.7	0.213	52	70.0	0.226	92	70.0	0.223
13	66.3	0.181	53	70.0	0.193	93	70.0	0.223
14	71.4	0.194	54	70.0	0.193	94	110.1	0.346
15	71.4	0.194	55	70.0	0.193	95	110.2	0.348
16	71.4	0.194	56	70.0	0.193	96	70.0	0.223
17	66.3	0.181	57	70.0	0.193	97	70.0	0.223
18	71.4	0.194	58	70.0	0.193	98	70.0	0.223
19	71.4	0.194	59	70.0	0.194	99	70.0	0.223
20	71.4	0.194	60	70.0	0.207	100	105.0	0.331
21	66.5	0.181	61	70.0	0.223	101	105.0	0.331
22	70.5	0.233	62	92.4	0.238	102	70.0	0.223
23	71.1	0.291	63	70.0	0.193	103	70.0	0.223
24	71.2	0.248	64	70.0	0.193	104	70.0	0.223
25	70.0	0.193	65	70.0	0.193	105	70.0	0.223
26	70.0	0.193	66	70.0	0.193	106	110.3	0.348
27	70.0	0.193	67	70.0	0.193	107	110.3	0.346
28	77.5	0.243	68	70.0	0.193	108	70.0	0.222
29	70.0	0.222	69	65.0	0.179	109	70.0	0.222
30	70.0	0.222	70	70.0	0.193	110	70.0	0.222
31	82.6	0.275	71	70.0	0.193	111	70.0	0.222
32	110.7	0.328	72	70.0	0.193	112	105.3	0.331
33	70.0	0.222	73	65.0	0.184	113	105.4	0.332
34	70.0	0.222	74	70.7	0.238	114	70.0	0.222
35	77.5	0.243	75	70.3	0.380	115	70.0	0.223
36	77.5	0.243	76	70.3	0.299	116	70.0	0.223
37	70.0	0.223	77	65.3	0.205	117	70.0	0.223
38	70.0	0.223	78	70.0	0.193	118	110.4	0.348
39	70.0	0.223	79	65.0	0.179			
40	99.4	0.284	80	70.0	0.193			

*LOT WIDTH MEASURE AT BUILDING SETBACK

SITE DATA:

TOTAL AREA	69.38 AC
PHASES:	1
SINGLE FAMILY UNITS	118
TOWNHOME UNITS	120
TOTAL UNITS	238

DENSITY (TOTAL UNITS / TOTAL AREA):
238 (UNITS) / 69.38 AC = 3.43 U/AC

RECREATIONAL AREA:

REQUIRED (3.6 AC / 1000 PERSONS):
1 UNIT = 2.6 PERSONS 238 (UNITS) x 2.6 = 619 PERSONS
619 x (3.6/1000) = 2.23 AC

PROVIDED

TRACT N-1	=	0.80 AC
TRACT K-6	=	2.03 AC
TOTAL	=	2.83 AC

OPEN SPACE CALCULATIONS:

REQUIRED:

SINGLE FAMILY:	
TOTAL AREA	49.69 AC
REQUIRED %	20 %
REQUIRED AREA	9.94 AC

TOWNHOUSES:

TOTAL AREA	19.69 AC
REQUIRED %	30 %
REQUIRED AREA	5.91 AC

TOTAL REQ'D OPEN SPACE AREA 15.85 AC

PROVIDED:

SINGLE FAMILY:

BUFFER YARDS (TRACTS J)	0.58 AC
OPEN SPACE (TRACTS K)	5.80 AC
RETENTION (TRACTS L)	4.97 AC*
RECREATION (TRACTS N)	0.80 AC
SINGLE FAMILY TOTAL	12.15 AC

TOWNHOUSE:

BUFFER YARDS (TRACTS J)	0.31 AC
OPEN SPACE (TRACTS K)	4.58 AC
RETENTION (TRACTS L)	2.48 AC
TOWNHOUSE TOTAL	7.37 AC

TOTAL OPEN SPACE PROVIDED 19.52 AC

*50% OF TOTAL REQUIRED SINGLE FAMILY OPEN SPACE AREA

Notes:

1. Front Porch Setbacks as allowed per City of Apopka Development Design Guidelines Ord. 2502, July 2016.
2. Side Street setback requires no lot frontages on Street I and that the side street setback will not be in front of any front setback of any adjacent lot.

Architectural, Buildings and Architectural Standards

1. Architectural Design shall meet the intent of the City of Apopka Design Development Guidelines Ord. 2502, July 2016.
2. Single family detached homes will have two car enclosed garages.
3. Townhomes will have a combination of single and two car garages as depicted on the parking plan.
4. Mail delivery for SF and Townhomes will be in a Kiosk as located at each amenity area and shown on the Development Plan.

Utilities and Infrastructure

1. Water, sanitary sewer and reclaimed services will be provided by Orange County Utilities.
2. Storm water management system shall be designed to comply with the requirements of the City of Apopka and SJRWMD.
3. All internal streets and Street 'I' in its entirety from McCormick Road to its northern terminus will be owned and maintained by the HOA, included the landscape medians.
4. Street I north of the public portion will be owned and maintained by the HOA.
5. Fire protection and a stabilized access road will be provided prior to vertical building construction.
6. Five foot concrete sidewalks will be provided on all internal streets per the Engineering Standards manual.
7. Electric power will be provided underground. No overhead power service will be permitted with this development.
8. Vehicular, pedestrian and accent lighting shall substantially conform to section 3.10 of the City of Apopka Development Design Guidelines.
9. A lighting plan must be submitted with the Final Development Plan.
10. Street Names will be provided at the time of the Final Development Plan.

Recreation and Open Space

1. Required project open space shall be a minimum of 20% for the Single Family portion and 30% for the townhome portion per the City of Apopka PUD LDC 2.02.18 D. 19. B.
2. Project Recreational Area shall be provided at a rate of 3.6 acres per thousand population with 2.6 persons per dwelling unit.
3. The recreational tract located in the Single Family area of the project will include a pavilion and swimming pool. This tract will be easily accessible by the single family and townhomes within the development.
4. The recreational tract located in the townhome area of the project will include large play fields, benches, a dog park and walking trails. This recreational tract will be easily accessible by the townhomes and single family homes.
5. All proposed amenity areas will be shared by the entire residential development.
6. The required amenity areas will be completed and open for use by the issuance of the 50th Certificate of Occupancy for all residential units.
7. All recreation and open space areas will be owned and maintained by the HOA.

Buffers and Landscaping

1. A 10' buffer will be provided along SR 429 as shown on the landscape plans and consist of a 6' precast stone wall and landscaping.
2. A 10' buffer will be provided along the southern boundary of the single family residential and will include a 6' precast stone wall and landscaping.
3. A 6' tan vinyl fence will be placed at the north and east property boundary. A 6' tan vinyl fence exists on the west boundary of the Apopka Woods development. The fence proposed on this property will only be installed where there are areas not fenced on the eastern property line. A fencing plan is included in this development proposal.
4. Each single family residential lot will include two newly planted trees. The trees planted in the front yards will also serve as the street trees.

Wetlands and Environmental

1. There are no wetlands on the proposed site area.
2. There is no 100 year flood plain on the proposed site area.
3. An erosion protection plan will be submitted during the final development plan process.
4. Tree removal and replacement and landscaping will comply with Article V of the City of Apopka Land Development Code.
5. Individual Lot Arbor / Clearing permit is required prior to clearing or grading of any lots.

Miscellaneous

1. Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction permits.
2. All acreages are subject to change with the Final Engineering and Final plat review and approval.
3. The existing home within the townhome development area will maintain access rights through the proposed private access road.
4. Final location of the covered mail kiosk within the townhome community shall be determined at the Final Development Plan. A letter of approval from the Postmaster shall be submitted prior to Final Development Plan approval. The mail kiosk shall have a similar architectural appearances as the townhome buildings.

DATE	REVISIONS	BY
4-26-17	REV PER DRC COMMENTS	TJ/MWK
6-26-17	REV PER DRC COMMENTS	JCM/KWK

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 6788
DAVID L. EVANS
FLORIDA P.E. NO. 46586
DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
718 IRMA AVENUE SUITE 200
ORLANDO, FLORIDA 32808
WWW.EVANS-ENG.COM
CERTIFICATE OF AUTHORIZATION NO. 00069788

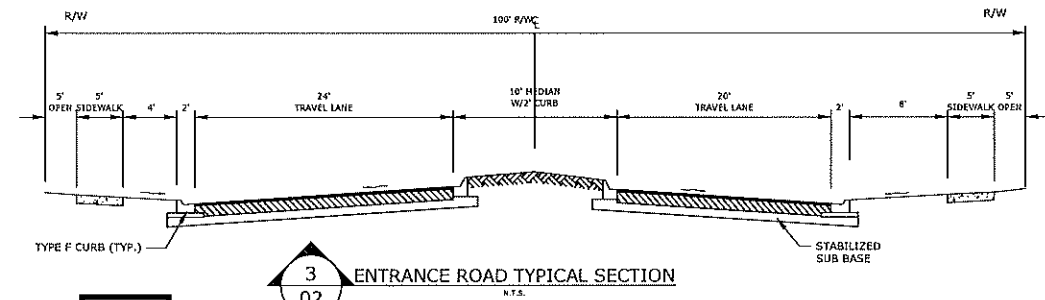
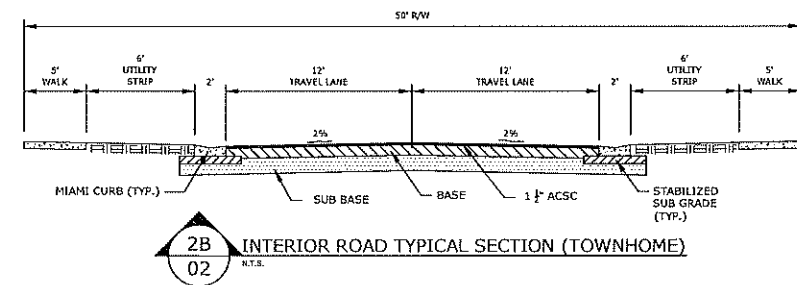
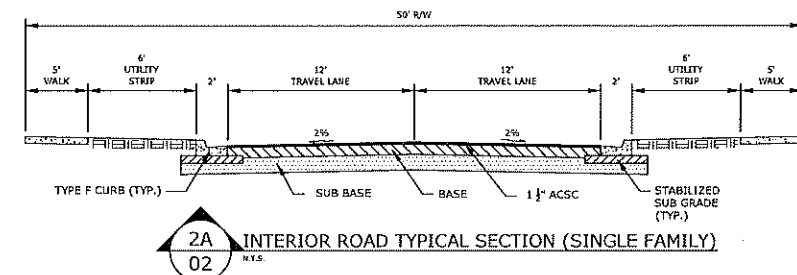
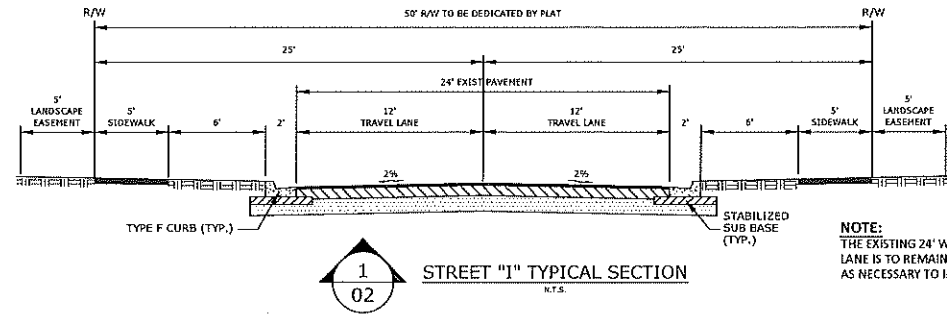
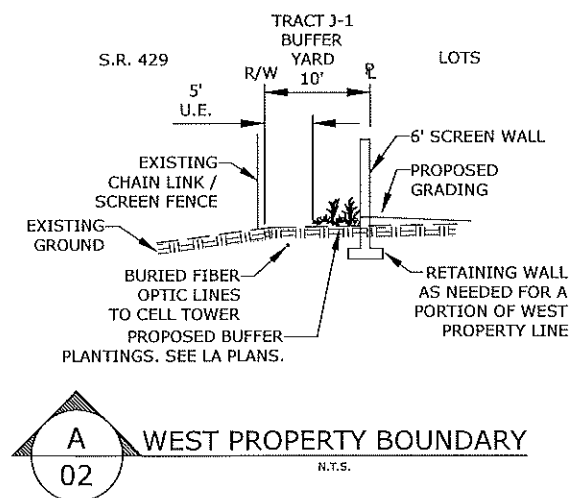
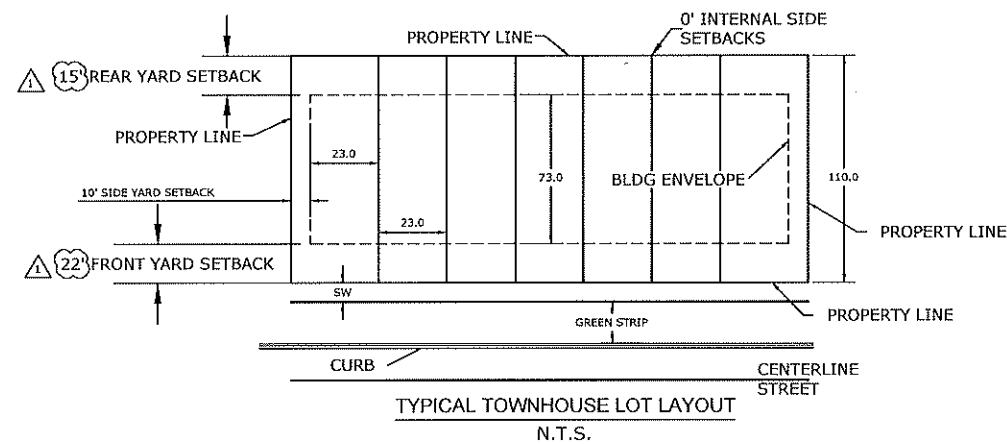
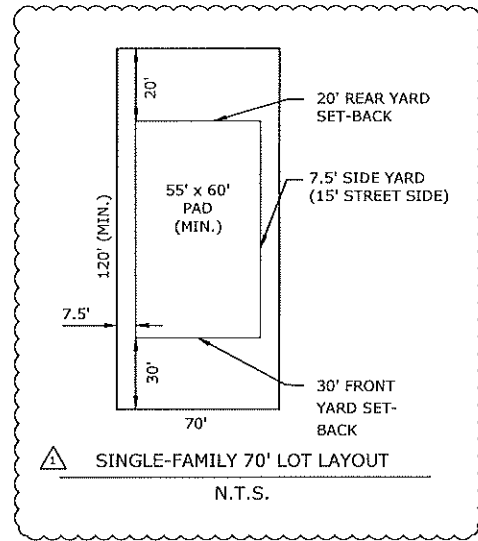
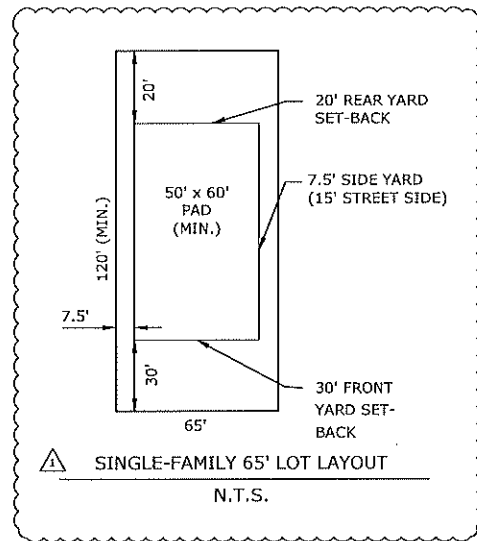
OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

DEVELOPMENT
DESIGN STANDARDS

DRAWN: TVW / MWK
CHECKED: NPG
DATE: NOV 2017
SCALE: NTS
JOB #: 25801
SHEET #:

2.0

*JWB/25801 - 04a Final/Urban/PA/PA - 4/26/17 02:10:00 PM - 11/13/17 - 11:13:17 AM by JWB



180

DATE	REVISIONS	BY
4-20-17	REV PER DRC COMMENTS	TJ/MWK
6-26-17	REV PER DRC COMMENTS	JRM/KK

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 6788

DAVID L. EVANS
FLORIDA P.E. NO. 4886
DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
LAWSON BLANKS
REGISTERED SERVICE
ORLANDO, FLORIDA 32803
(407) 872-1815
WWW.EVANSENGINEERING.COM
CERTIFICATE OF AUTHORIZATION NO. 00068788

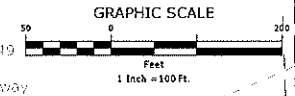
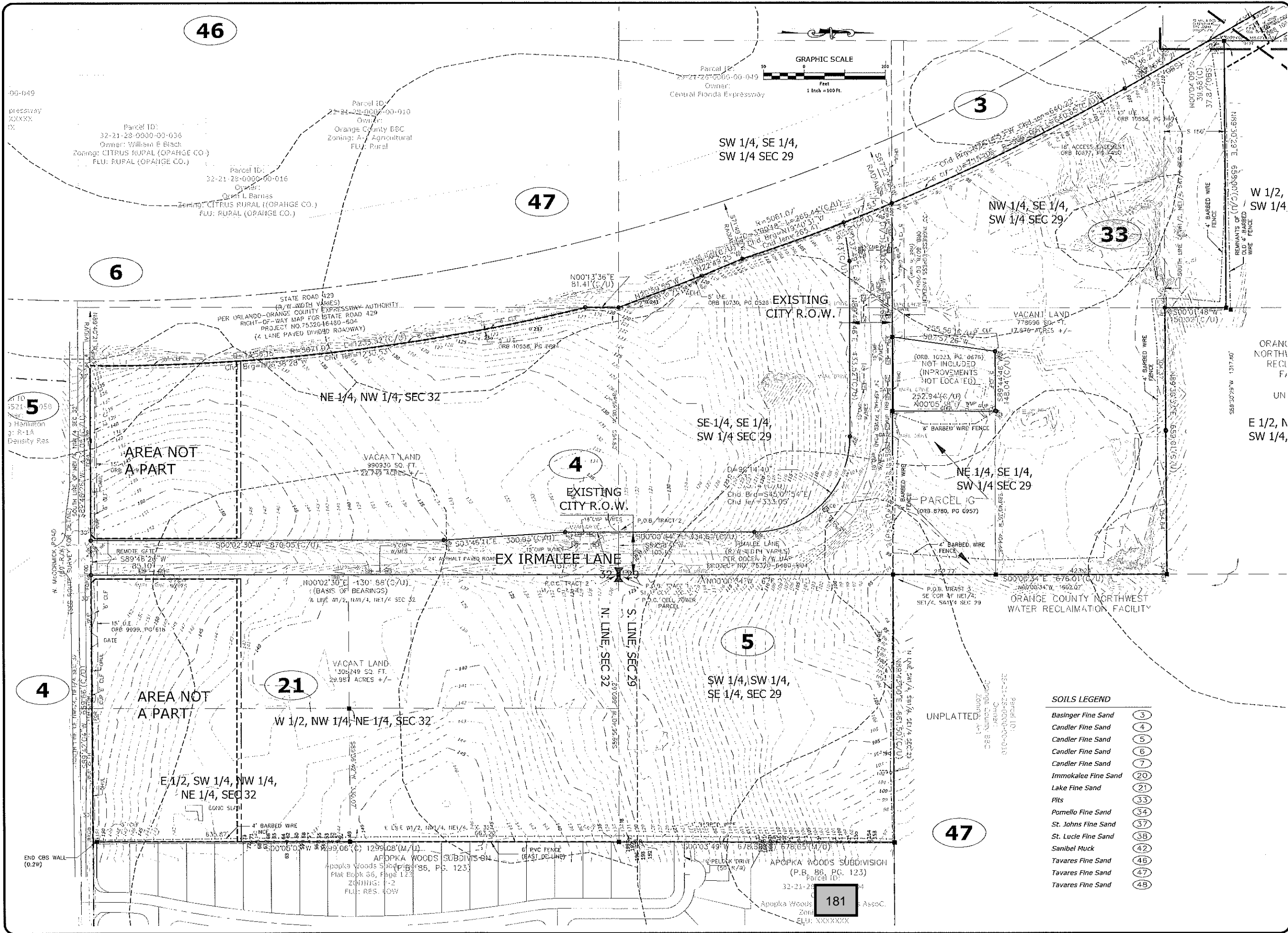
OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

GENERAL
DETAILS AND SECTIONS

DRAWN:
TVW / MWK
CHECKED:
MPC
DATE:
NOV 2017
SCALE:
1" = 100'
JOB #:
28801
SHEET #:

2.1

2-DWG:3/2017 - Oak Pointe/ThompsonHills - 4/18/17-10/17/17 General Reference (S-1) Permit No. Rev. 12, 2017 - 11/20/17 by JRM/KK



DATE	REVISIONS
4-23-17	1 REV PER DAC COMMENTS
6-24-17	2 REV PER DAC COMMENTS

EVANS ENGINEERING, INC.
 AUTHORIZATION NO. 6788

DAVID L. EVANS
 FLORIDA P.E. NO. 46586
 DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
 719 IRMA AVENUE
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 (407) 872-1415
 WWW.EVANS-ENGINEERING.COM
 CERTIFICATE OF AUTHORIZATION NO. 00005916

OAK POINTE
 FOR
 THOMPSON HILLS ESTATES LLC
 CITY OF APOPKA, FLORIDA

EXISTING CONDITIONS

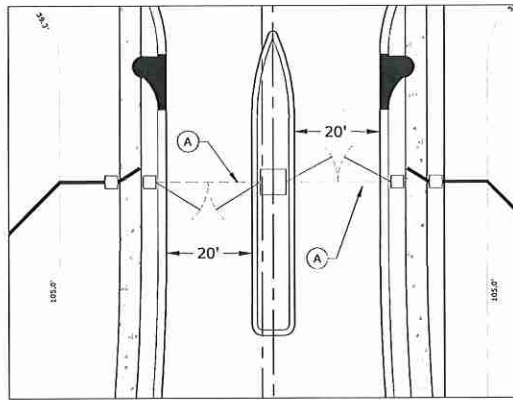
DRAWN: TVW / MWK
 CHECKED: MFG
 DATE: NOV 2017
 SCALE: 1" = 60'
 JOB #: 26801
 SHEET #:

3.0

SOILS LEGEND

Basinger Fine Sand	3
Candler Fine Sand	4
Candler Fine Sand	5
Candler Fine Sand	6
Candler Fine Sand	7
Immokalee Fine Sand	20
Lake Fine Sand	21
Pits	33
Pomello Fine Sand	34
St. Johns Fine Sand	37
St. Lucie Fine Sand	38
Sanibel Muck	42
Tavares Fine Sand	46
Tavares Fine Sand	47
Tavares Fine Sand	48

181



EMERGENCY ACCESS DETAIL
(FRONT GATE)

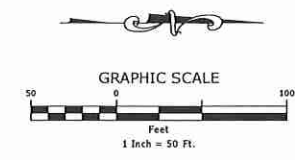
NOTES:

1. EMERGENCY ACCESS GATES TO BE INSTALLED WITH OPTICON SYSTEM, YELP SENSOR, AND KEYPAD. TWO YELP SENSORS TO BE INSTALLED AT EACH GATE, ONE HIGH (6'+) AND ONE LOW (3').

KEY NOTES:

(A) EMERGENCY ACCESS GATE
(SEE NOTE 1)

Parcel ID:
32-21-28-0000-00-016
Owner:
Orrin L Barnes
Zoning: CITRUS RURAL ((ORANGE CO.)
FLU: RURAL (ORANGE CO.)



LEGEND:

- UTILITIES
- STORM SEWER
 - SANITARY SEWER
 - SANITARY FORCE MAIN
 - WATER MAIN
 - 6" HOA/Common Area Sleeves
 - PROPOSED SANITARY MANHOLE
 - ▲ PROPOSED CURB INLETS
 - ▲ PROPOSED DITCH BOTTOM INLETS
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED MITERED END SECTION
 - PROPOSED HYDRANT ASSEMBLY
 - PROPOSED IRRIGATION METER
 - PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
 - PROPOSED GATE VALVE
 - PROPOSED REDUCER
 - SANITARY LIFT STATION

DATE	REVISIONS
4-25-17	1 REV PER DRC COMMENTS
6-26-17	2 REV PER DRC COMMENTS

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 6788

DAVID L. EVANS
FLORIDA P.E. NO. 46586
DATE: NOV 13, 2017

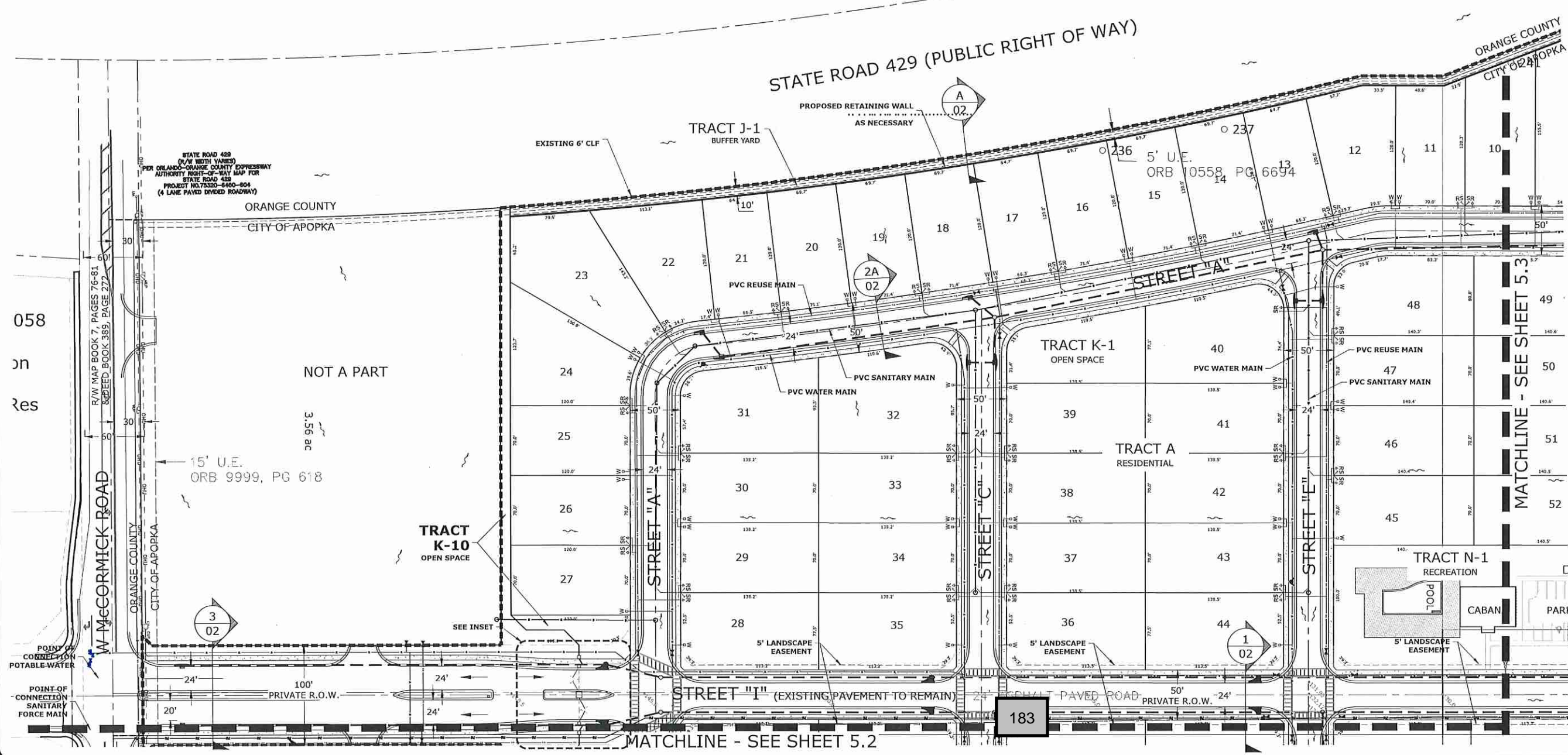
EVANS ENGINEERING, INC.
LAND SURVEYING & ENGINEERING SERVICES
719 IRMA AVENUE SUITE 32803
ORLANDO, FLORIDA 32803
(407) 872-1115
WWW.EVANS-ENG.COM
CERTIFICATE OF AUTHORIZATION NO. 00006798

OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

PRELIMINARY
DEVELOPMENT PLAN

DRAWN: TVW MWK
CHECKED: MPA
DATE: NOV 2017
SCALE: 1" = 50'
JOB #: 25801
SHEET #:

5.1



058
on
res

NOT A PART
3.56 ac

15' U.E.
ORB 9999, PG 618

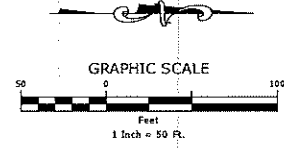
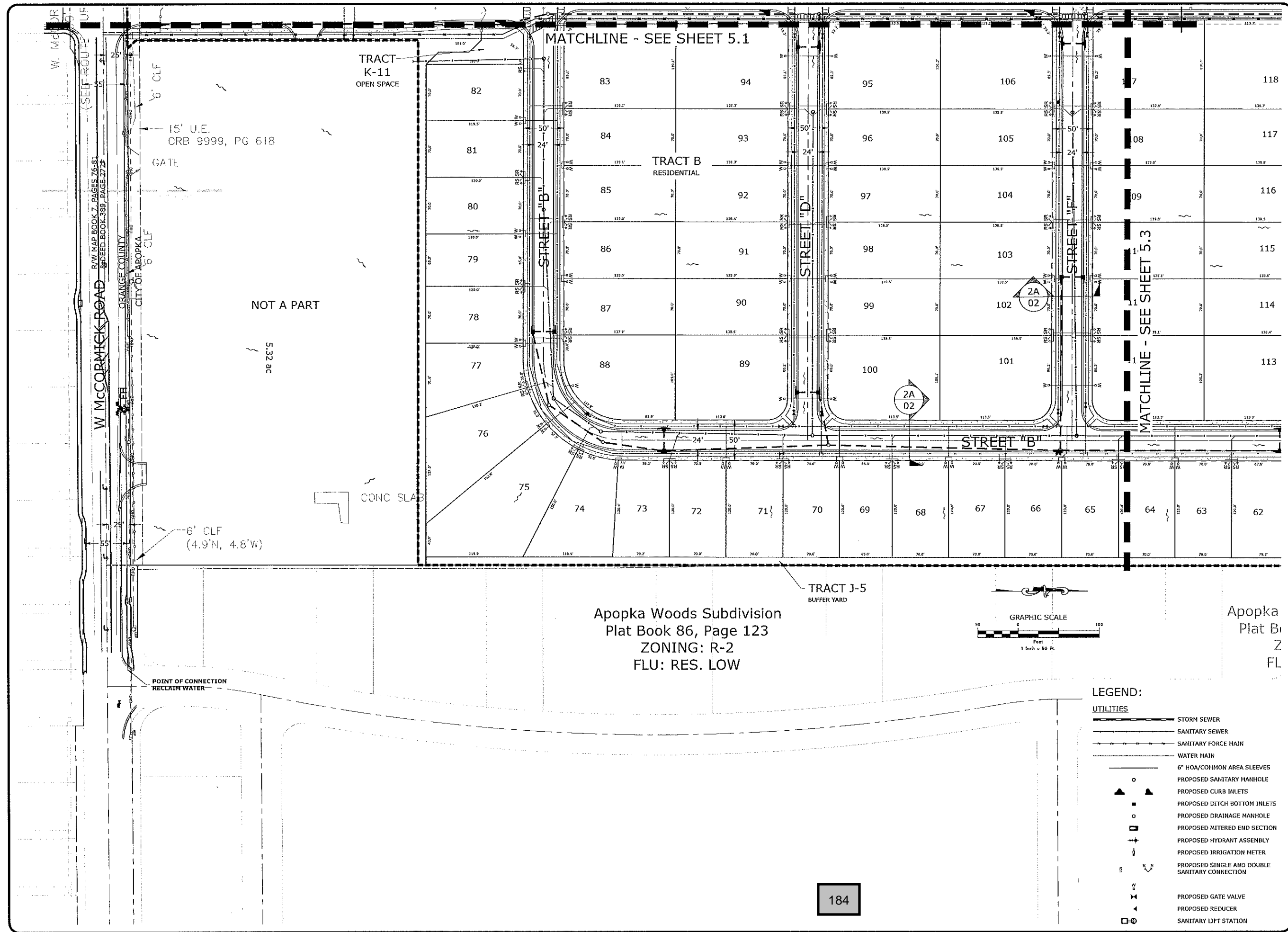
TRACT K-10
OPEN SPACE

183

MATCHLINE - SEE SHEET 5.3

MATCHLINE - SEE SHEET 5.2

J:\058\25801 - Oak Pointe\Drawings\PP\5.1.dwg - P:\058\5.1.dwg - Nov 13, 2017 - 12:40pm by Jevans



LEGEND:

UTILITIES

- STORM SEWER
- SANITARY SEWER
- SANITARY FORCE MAIN
- WATER MAIN
- 6" HOA/COMMON AREA SLEEVES
- PROPOSED SANITARY MANHOLE
- ▲ PROPOSED CURB INLETS
- ◻ PROPOSED DITCH BOTTOM INLETS
- ◻ PROPOSED DRAINAGE MANHOLE
- ◻ PROPOSED MITERED END SECTION
- ⊕ PROPOSED HYDRANT ASSEMBLY
- ⊕ PROPOSED IRRIGATION METER
- ⊕ PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
- ⊕ PROPOSED GATE VALVE
- ⊕ PROPOSED REDUCER
- ⊕ PROPOSED SANITARY LIFT STATION

DATE	REVISIONS	BY
4-20-17	REV PER DRC COMMENTS	TVMW
6-26-17	REV PER DRC COMMENTS	MWK

EVANS ENGINEERING, INC.
 AUTHORIZATION NO. 6788

DAVID L. EVANS
 FLORIDA P.E. NO. 45886
 DATE: NOV 13, 2017

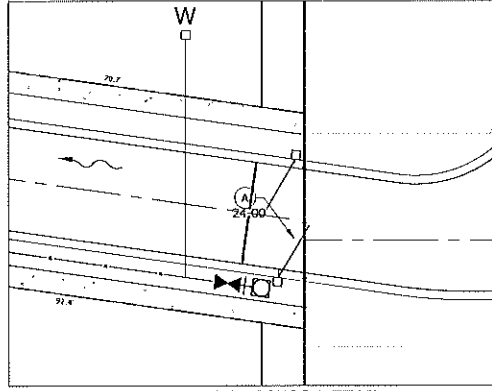
EVANS ENGINEERING, INC.
 CIVIL ENGINEERING
 719 IRMA AVENUE
 ORLANDO, FLORIDA 32803
 (407) 872-1515
 WWW.EVANS-ENG.COM
 CERTIFICATE OF AUTHORIZATION NO. 00009788

OAK POINTE
 FOR
 THOMPSON HILLS ESTATES LLC
 CITY OF APOPKA, FLORIDA

PRELIMINARY
 DEVELOPMENT PLAN

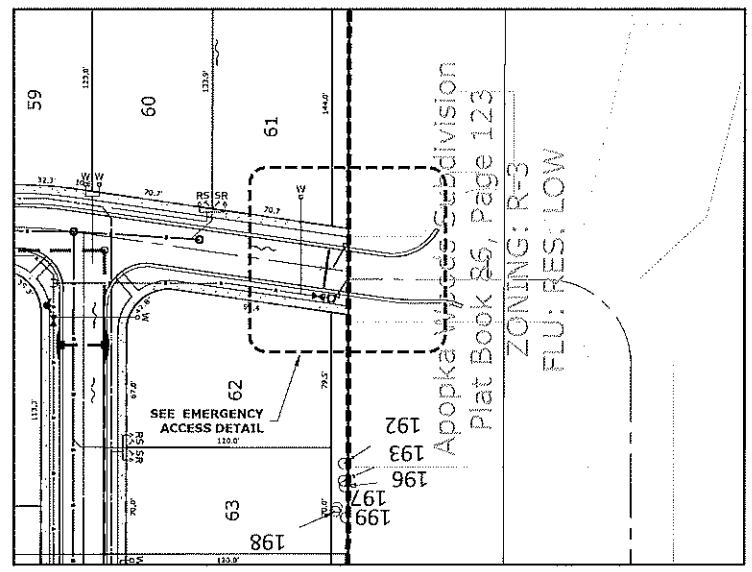
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 CHECKED:
 MPG
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 NOV 2017
 SCALE:
 1" = 60'
 JOB #:
 25801
 SHEET #:

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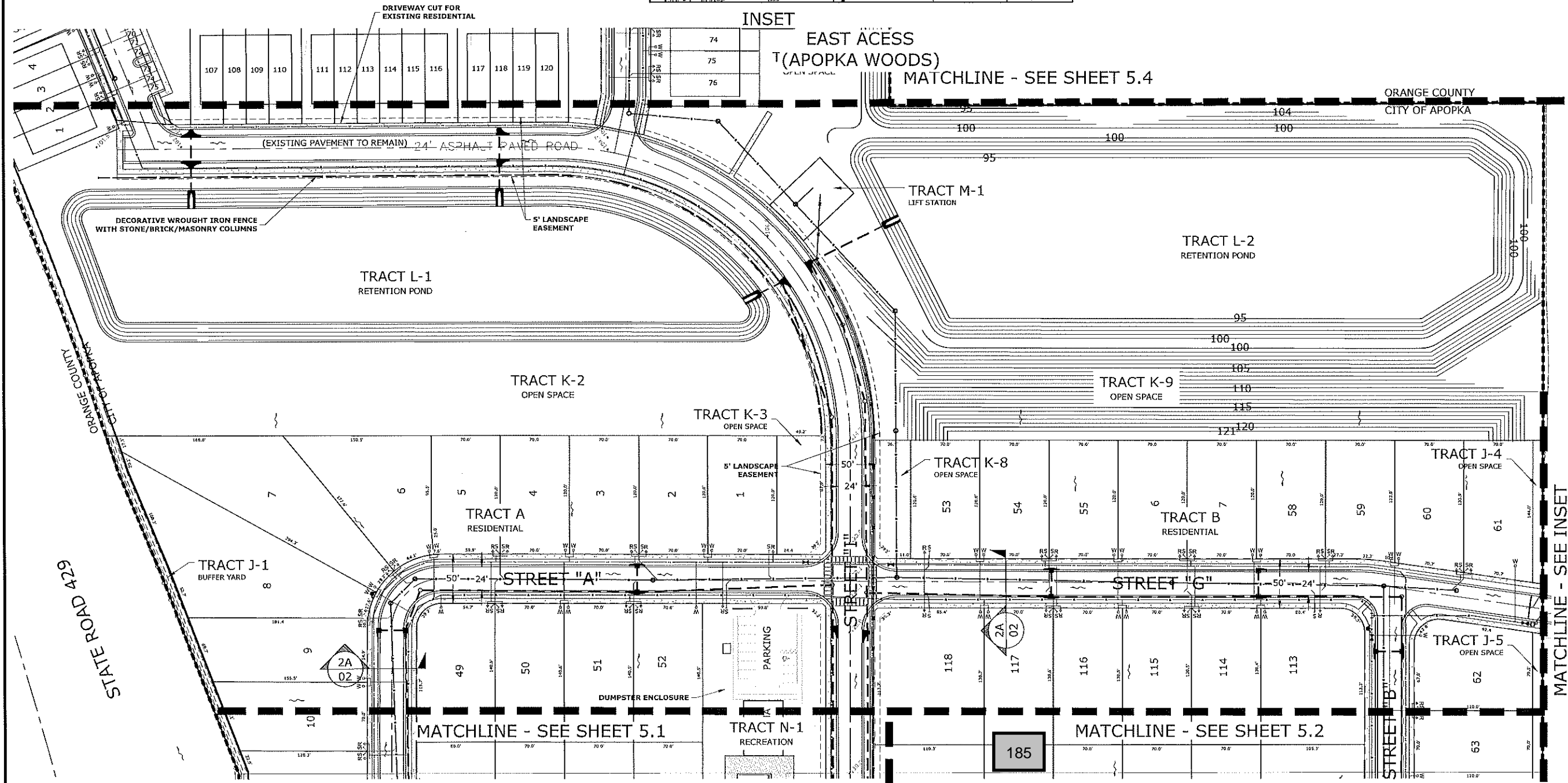
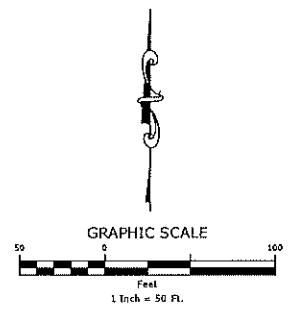


NOTES:
1. EMERGENCY ACCESS GATES TO BE INSTALLED WITH OPTICON SYSTEM, YELP SENSOR, AND KEYPAD. TWO YELP SENSORS TO BE INSTALLED AT EACH GATE, ONE HIGH (6'+) AND ONE LOW (3').

KEY NOTES:
A EMERGENCY ACCESS GATE (SEE NOTE 1)



- LEGEND:
- UTILITIES
- STORM SEWER
 - SANITARY SEWER
 - SANITARY FORCE MAIN
 - WATER MAIN
 - 6" HOA/COMMON AREA SLEEVES
 - PROPOSED SANITARY MANHOLE
 - PROPOSED CURB INLETS
 - PROPOSED DITCH BOTTOM INLETS
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED MITERED END SECTION
 - PROPOSED HYDRANT ASSEMBLY
 - PROPOSED IRRIGATION METER
 - PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
 - PROPOSED GATE VALVE
 - PROPOSED REDUCER
 - SANITARY LIFT STATION



DATE	REVISIONS
4-20-17	REV PER DIC COMMENTS
6-28-17	REV PER DIC COMMENTS

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 4788

DAVID L. EVANS
FLORIDA P.E. NO. 46566
DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
LAW & ENGINEERING CONSULTING SERVICES
719 IRMA AVENUE
ORLANDO, FLORIDA 32803
(407) 872-1515
WWW.EVANSENG.COM
CERTIFICATE OF AUTHORIZATION NO. 00008784

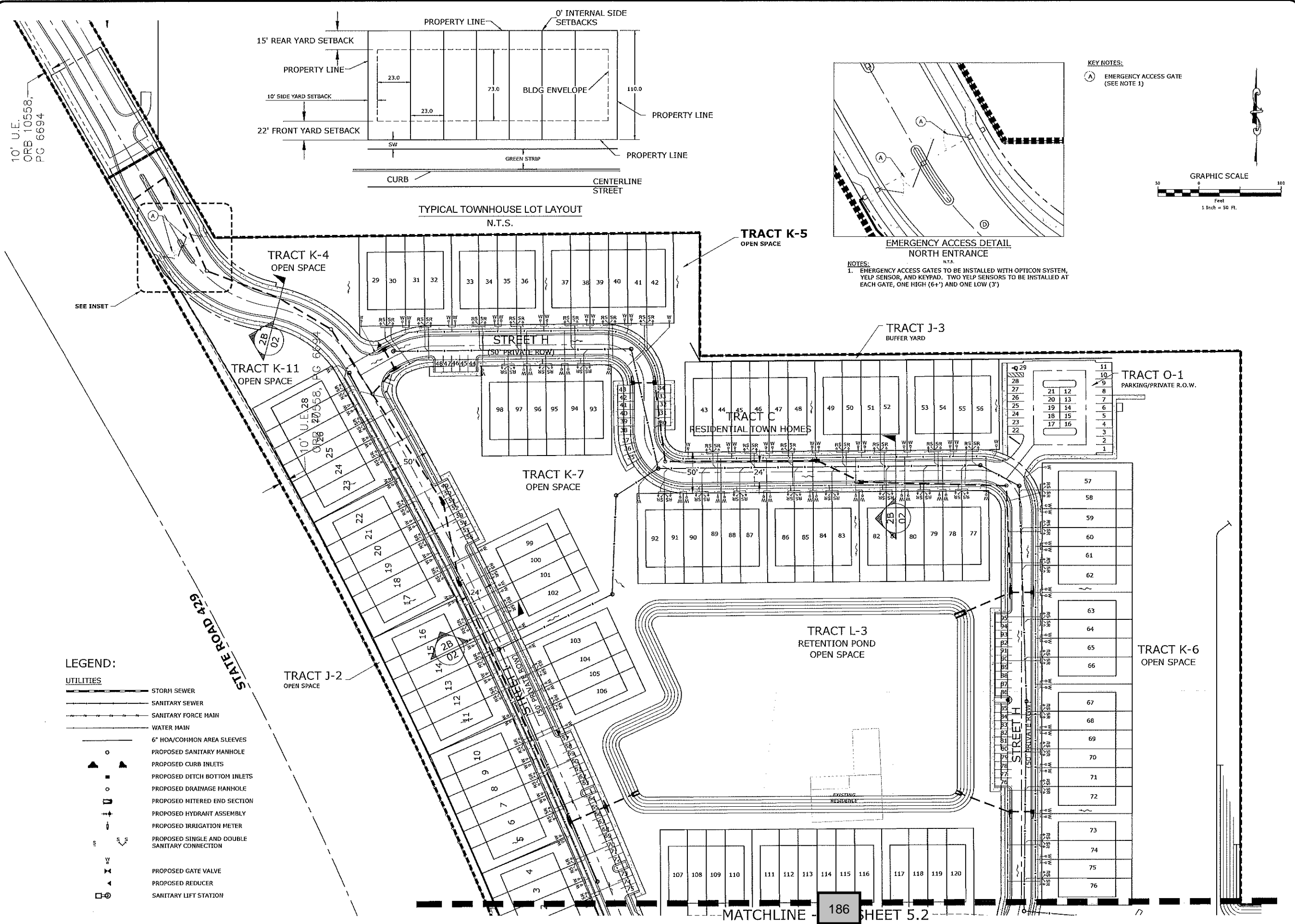
OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

PRELIMINARY
DEVELOPMENT PLAN

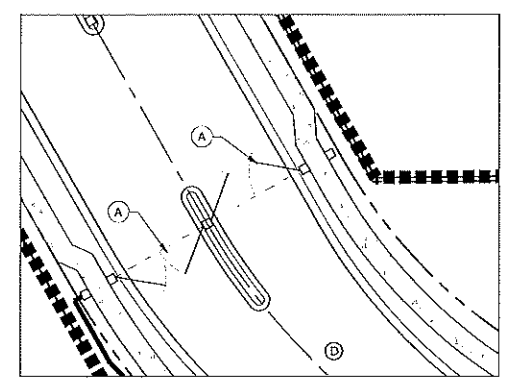
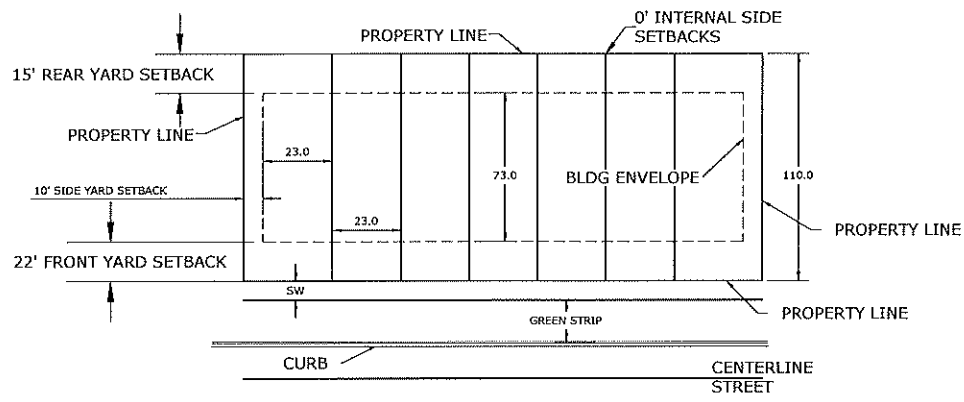
DRAWN:
TVW / MWK
CHECKED:
MFG
DATE:
NOV 2017
SCALE:
1" = 60'
JOB #:
25801
SHEET #:

5.3

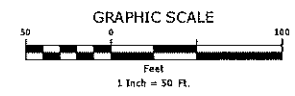
2:\Projects\25801 - Oak Pointe\Drawings\5.3 - Prelim.dwg (13.3) Plotted on: Nov 13, 2017 - 10:58am by jennara



10' U.E.
ORB 10558,
PC 6694



KEY NOTES:
A EMERGENCY ACCESS GATE
(SEE NOTE 1)



NOTES:
1. EMERGENCY ACCESS GATES TO BE INSTALLED WITH OPTICON SYSTEM, YELP SENSOR, AND KEYPAD. TWO YELP SENSORS TO BE INSTALLED AT EACH GATE, ONE HIGH (6'+) AND ONE LOW (3')

- LEGEND:**
- UTILITIES**
- STORM SEWER
 - SANITARY SEWER
 - SANITARY FORCE MAIN
 - WATER MAIN
 - 6" HOA/COMMON AREA SLEEVES
 - PROPOSED SANITARY MANHOLE
 - PROPOSED CURB INLETS
 - PROPOSED DITCH BOTTOM INLETS
 - PROPOSED DRAINAGE MANHOLE
 - PROPOSED MITERED END SECTION
 - PROPOSED HYDRANT ASSEMBLY
 - PROPOSED IRRIGATION METER
 - PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
 - PROPOSED GATE VALVE
 - PROPOSED REDUCER
 - SANITARY LIFT STATION

DATE	REVISIONS
4-23-17	1 REV PER DRC COMMENTS
6-26-17	2 REV PER DRC COMMENTS

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 4788

DAVID L. EVANS
FLORIDA P.E. NO. 46886
DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
LAW & PLANNING PREPARING SERVICES
719 IRMA AVENUE 32803
ORLANDO, FLORIDA
(407) 872-1515
WWW.EVANS-ENG.COM
CERTIFICATE OF AUTHORIZATION NO. 00008798

OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

PRELIMINARY
DEVELOPMENT PLAN

DRAWN:
TVW / MWK
CHECKED:
MPC
DATE:
NOV 2017
SCALE:
1" = 60'
JOB #:
26801
SHEET #:

5.4

2:\Users\jls801 - Oak Pointe\Drawings\TVW & MWK\26801 - 05 PDP-481P - 10/24/17 (15.4) PDP-481P - Nov 13, 2017 - 15:26pm by jls801

MASTER SIGNAGE PLAN NOTES:

THE FOLLOWING CRITERIA HAS BEEN ESTABLISHED BASED ON SECTION 8.4.02 AND SPECIFICALLY SECTIONS A-H. A MONUMENT SIGN WITHIN THE LANDSCAPED ISLAND IS PROPOSED AT THE PROJECT'S ENTRANCE. AS SHOWN ON THE MASTER PLAN THE FOLLOWING TABLE HAS BEEN PREPARED TO DETERMINE MAXIMUM SIGNAGE HEIGHT AND AREA.

ROAD SUMMARY:

McCORMICK RD - WITH 2 OUT PARCELS
 BASED ON THESE CRITERIA WE HAVE TABULATED TOTAL PROJECT SIGN AREA AND LOCATION AND IS AS FOLLOWS:

SIGN #1

McCORMICK RD. - 100 S.F. MAX. BASED ON 300' STREET FRONTAGE + 20 S.F. FOR MULTI-USE CENTER OR 120 S.F.

SIGNS #2 & 3:

OUT PARCELS - 2 OUT PARCELS AT 50 S.F. EACH OR 100 S.F.
 TOTAL SIGN AREA 220 S.F.

SIGN #4 & #5:

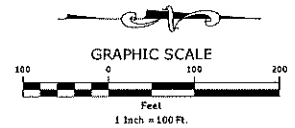
ENTRANCE FEATURE SIGN BETWEEN TWO ADJACENT RESIDENTIAL NEIGHBORHOODS. SEC 2.02.18 (K)(2).

THE HEIGHT OF THE STRUCTURE FOR THE MONUMENT SIGN MAY BE 9' MAXIMUM; HOWEVER, SIGN FACE HEIGHT LIMITATION IS 8'.
 THE DEVELOPER RESERVES THE RIGHT TO COMINGLE OUT PARCEL AND MONUMENT SIGNAGE BASED ON ACTUAL TENANT.
 FLU: RURAL (ORANGE CO.)

Parcel ID:
 29-21-28-0000-00-049
 Owner:
 Central Florida Expressway

STATE ROAD 429
 (RIGHT OF WAY VARIES)

ID: 1-00-058
 r: amilton
 1-1A
 sity Res



Parcel ID:
 28-21-28-0000-00-010
 Owner:
 Orange County BBC
 Zoning: A-1

Apopka Woods Subdivision
 Plat Book 86, Page 123
 ZONING: R-2
 FLU: RES. LDW

Parcel ID:
 32-21-28-0205-00-004
 Own:
 Apopka Woods Ho
 Zoning:
 FLU: XXXXXX

SIGN TABLE		
SIGN	MAX. SQ. FT.	MAX. HEIGHT
1	80 SQ. FT.	8 FT.
2	50 SQ. FT.	6 FT.
3	50 SQ. FT.	6 FT.
4	50 SQ. FT.	8 FT.
5	50 SQ. FT.	8 FT.

DATE	REVISIONS
4-20-17	1 REV PER DRC COMMENTS
6-24-17	2 REV PER DRC COMMENTS

EVANS ENGINEERING, INC.
 AUTHORIZATION NO. 6788

DAVID L. EVANS
 FLORIDA P.E. NO. 46586
 DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
 LAND PLANNING CONSULTING SERVICES
 719 IRMA AVENUE 32803
 ORLANDO, FLORIDA (407) 872-1515
 WWW.EVANS-ENG.COM
 CERTIFICATE OF AUTHORIZATION NO. 00009788

OAK POINTE
 FOR
 THOMPSON HILLS ESTATES LLC
 CITY OF APOPKA, FLORIDA

PRELIMINARY DEVELOPMENT PLAN
 MASTER SIGNAGE PLAN

DRAWN: TVW / MWK
 CHECKED: MFG
 DATE: NOV 2017
 SCALE: 1" = 100'
 JOB #: 25801
 SHEET #:

6.0

2:000000001 - Oak Pointe - 04/10/2017 - 12:45pm by evans

ORANGE COUNTY
 FIRE FLOW CALCULATIONS:
 PER CHAPTER 18, NFPA 1, 2009 EDITION

CONSTRUCTION TYPE	AREA (sq)	FF REQUIRED (gpm)	R13 SPRINKLER (75% REDUCTION-gpm)	FF PROVIDED (gpm)
COMMERCIAL (NOT A PART)	IIB	58,345	5,000	1,250
SINGLE FAMILY (TRACT A & B)	VB	8,400	2,500	625
TOWNHOMES (TRACT C)	VB	2,530	1,500	375

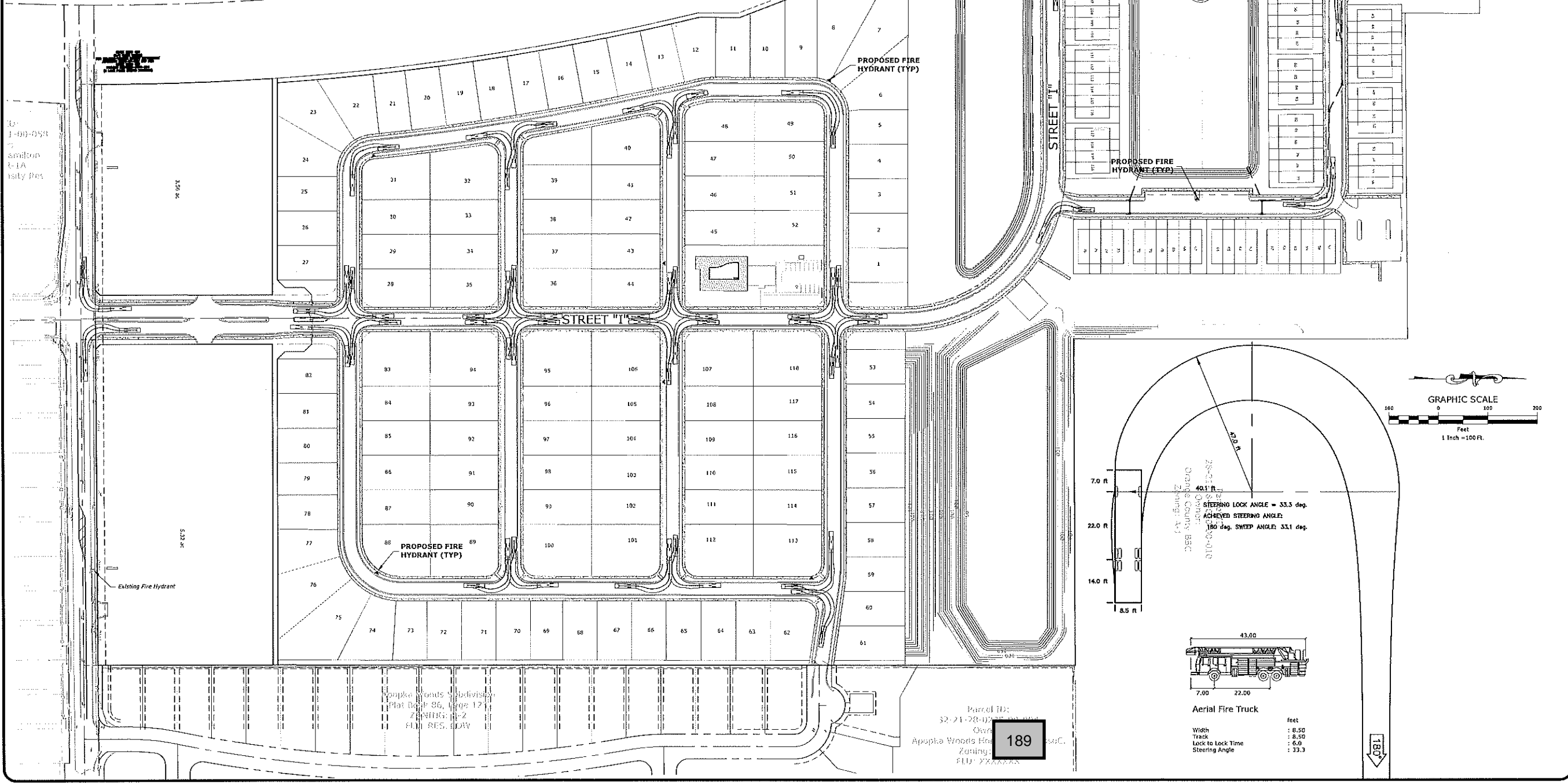
NUMBER OF FIRE HYDRANTS (ALL BUILDINGS)		AVE SPACING BETWEEN HYDRANTS (FT)	MAX DISTANCE FROM ANY POINT ON STREET FRONTAGE (FT)
FIRE FLOW - 1,750 OR LESS	MIN NUMBER OF HYDRANTS	500	250
FIRE FLOW - 2,000-2,250 GPM	2	450	225

NOTES: MINIMUM FIRE FLOW FOR COMMERCIAL BUILDINGS PER ORANGE COUNTY FIRE IS 2,000 GPM. BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEMS SHALL CONFORM TO NFPA STANDARDS.

Orin L. Barnes
 Zoning: CITRUS RURAL (ORANGE CO.)
 PLU: RURAL (ORANGE CO.)

Parcel ID:
 29-21-28-0000-00 049
 Corner:
 Central Florida Expressway

STATE ROAD 429
 (RIGHT OF WAY VARIES)



DATE	REVISIONS
4-23-17	1 REV PER DAC COMMENTS
5-24-17	2 REV PER DAC COMMENTS

EVANS ENGINEERING, INC.
 AUTHORIZATION NO. 4788
 DAVID L. EVANS
 FLORIDA P.E. NO. 46886
 DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
 LAND SURVEYING & PLANNING SERVICES
 719 IRMA AVENUE
 ORLANDO, FLORIDA 32803
 (407) 872-1615
 WWW.EVANS-ENG.COM
 CERTIFICATE OF AUTHORIZATION NO. 00006798

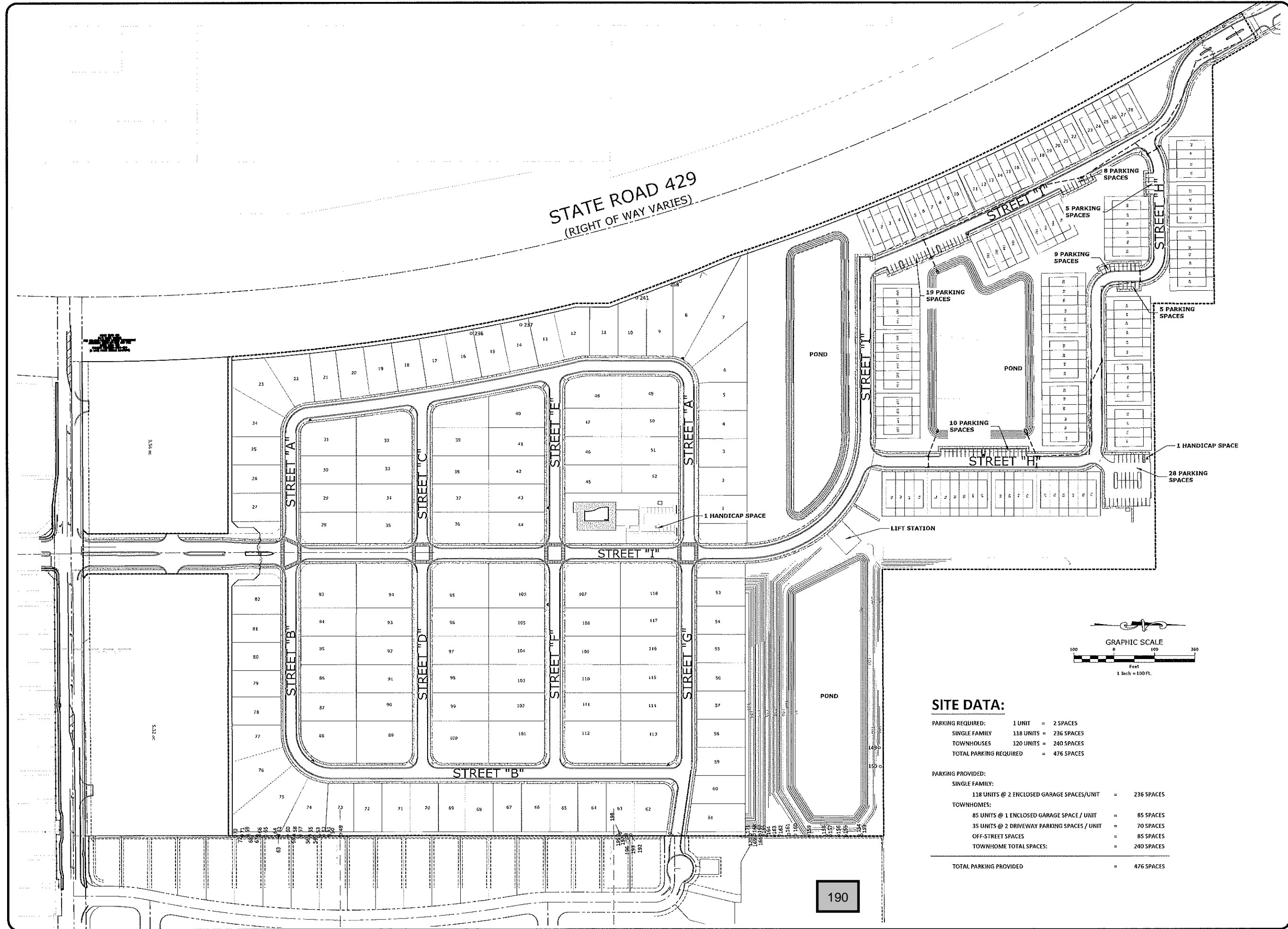
OAK POINTE
 FOR
 THOMPSON HILLS ESTATES LLC
 CITY OF APOPKA, FLORIDA

PRELIMINARY
 DEVELOPMENT PLAN
 FIRE ACCESS PLAN

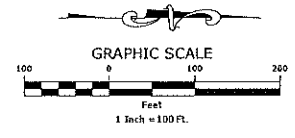
DRAWN: TVW / MWK
 CHECKED: MGC
 DATE: NOV 2017
 SCALE: 1" = 100'
 JOB #: 25801
 SHEET #:

80

Parcel ID:
 32-21-28-0000-00 189
 Own:
 Apopka Woods HOA
 Zoning: R-2
 PLU: XXXXXX



STATE ROAD 429
(RIGHT OF WAY VARIES)



SITE DATA:

PARKING REQUIRED:	1 UNIT = 2 SPACES
SINGLE FAMILY	118 UNITS = 236 SPACES
TOWNHOUSES	120 UNITS = 240 SPACES
TOTAL PARKING REQUIRED	= 476 SPACES
PARKING PROVIDED:	
SINGLE FAMILY:	
118 UNITS @ 2 ENCLOSED GARAGE SPACES/UNIT	= 236 SPACES
TOWNHOMES:	
85 UNITS @ 1 ENCLOSED GARAGE SPACE / UNIT	= 85 SPACES
35 UNITS @ 2 DRIVEWAY PARKING SPACES / UNIT	= 70 SPACES
OFF-STREET SPACES	= 85 SPACES
TOWNHOME TOTAL SPACES:	= 240 SPACES
TOTAL PARKING PROVIDED	= 476 SPACES

190

DATE	REVISIONS	BY
4-20-17	1 REV PER DAC COMMENTS	TJ/MWK
6-26-17	2 REV PER DAC COMMENTS	JK/MWK

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 6788

DAVID L. EVANS
FLORIDA P.E. NO. 45886
DATE: NOV 10, 2017

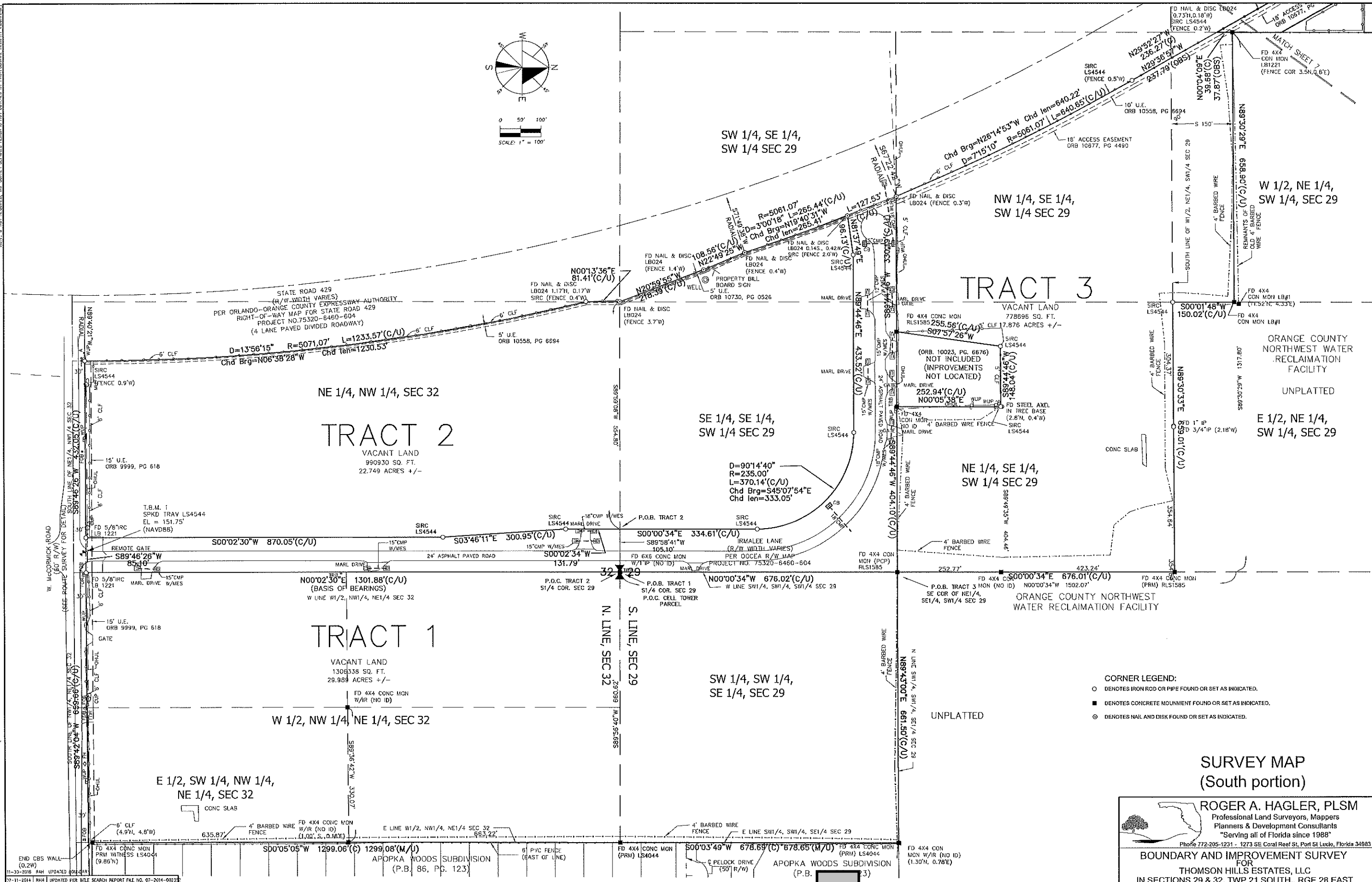
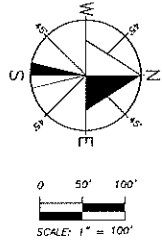
EVANS ENGINEERING, INC.
LAND SURVEYING & PLANNING SERVICES
719 IRMA AVENUE
ORLANDO, FLORIDA 32803
(407) 872-1615
WWW.EVANS-ENR.COM
CERTIFICATE OF AUTHORIZATION NO. 00066788

OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

PRELIMINARY
DEVELOPMENT PLAN
PARKING
ANALYSIS PLAN

DRAWN:
TJW / MWK
CHECKED:
MPC
DATE:
JULY 2017
SCALE:
1" = 100'
JOB #:
25801
SHEET #:

NOTE: IF NOT REQUIRED, THE SURVEY DEPICTED HEREIN IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.



- CORNER LEGEND:**
- DENOTES IRON ROD OR PIPE FOUND OR SET AS INDICATED.
 - DENOTES CONCRETE MOUND FOUND OR SET AS INDICATED.
 - ⊙ DENOTES NAIL AND DISK FOUND OR SET AS INDICATED.

SURVEY MAP
(South portion)

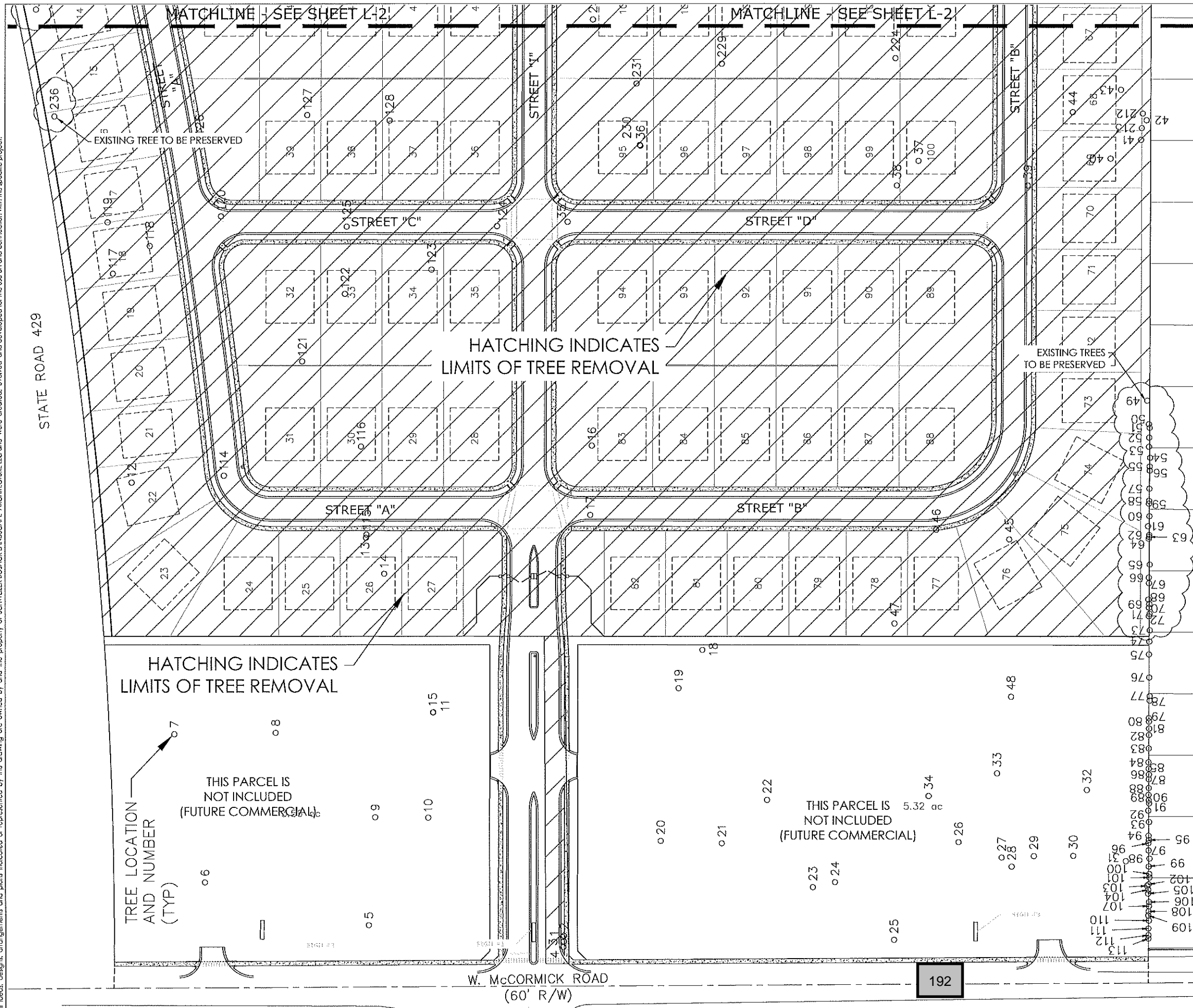
ROGER A. HAGLER, PLSM
Professional Land Surveyors, Mappers
Planners & Development Consultants
"Serving all of Florida since 1988"
Phone 772-205-1231 - 1273 SE Coral Reef St, Port St Lucie, Florida 34983

BOUNDARY AND IMPROVEMENT SURVEY
FOR
THOMSON HILLS ESTATES, LLC
IN SECTIONS 29 & 32, TWP 21 SOUTH., RGE 28 EAST
ORANGE COUNTY, FLORIDA

Drawn by: R. Hagler	Date: 03-19-2013	SCALE: AS SHOWN	JOB NUMBER: 13-101	SHEET 6	OF 7
Checked by: R. Hagler	Dwg File: 13-101.DWG				

11-30-2016	RAH	UPDATED PER BILE SEARCH
07-11-2014	RAH	UPDATED PER BILE SEARCH REPORT FILE NO. 07-2014-00233
04-11-2013	RAH	REFLECT NEW TITLE COMMITMENTS
04-02-2013	RAH	REVISE PER ADDITIONAL BILE POLICY REVIEW
03-17-2013	RAH	INITIAL FIELD SURVEY COMPLETED
DATE	BY	REVISION

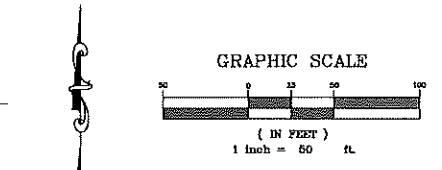
All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIER BOJACK LANDSCAPE ARCHITECTURE LLC and were created, evolved and developed for the use on and connection with this specific project.



STATE ROAD 429

W. McCORMICK ROAD
(60' R/W)

192



TREE REMOVAL PLAN

(SHEET 1 OF 4)

LANDSCAPE & IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____



SCHWEIER
BOJACK
LANDSCAPE
ARCHITECTURE
LANDSCAPE & IRRIGATION DESIGN
PO BOX 14833 • JAILAND, FLORIDA 32714 • PH: (407) 274-1423
LICENSE NO. LC2008046 • DESIGN@SCHWEIERBOJACK.COM

OAK POINTE - PUD / MASTER PLAN
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

11/10/17
7/21/17
6/23/17
5/17/17
5/01/17
4/12/17
1/31/17
DRAWN BY: KB
SHEET NUMBER
L-1

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIER BOJACK LANDSCAPE ARCHITECTURE, LLC and were created, evolved and developed for the use on and connection with this specific project.



SCHWEIER
BOJACK
LANDSCAPE
ARCHITECTURE

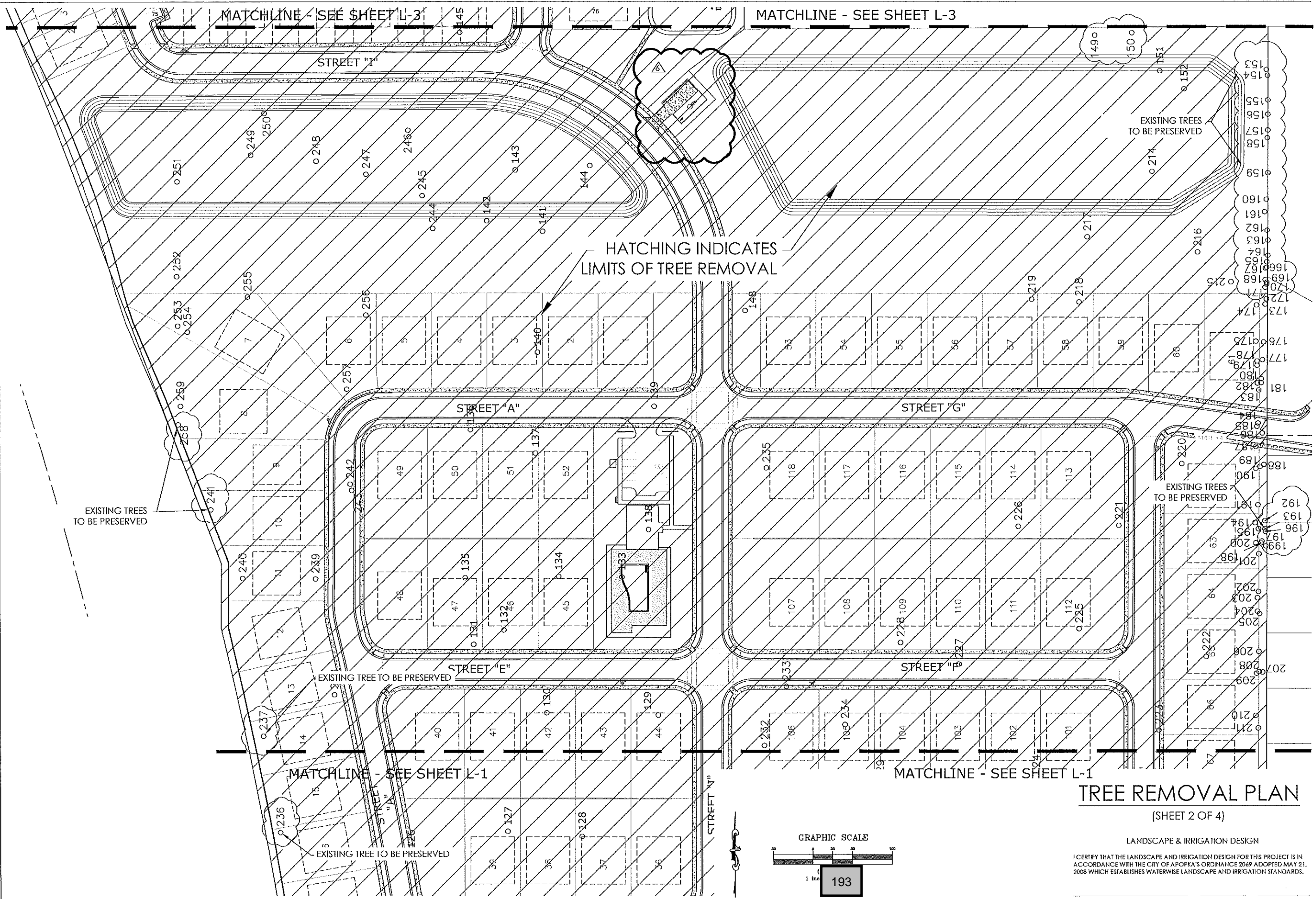
LANDSCAPE & IRRIGATION DESIGN
PO BOX 94833 • MAHLAND, FLORIDA 32794 • PH (407) 374-1423
LICENSE NO. LC1262046 • DESIGNS@SCHWEIERBOJACK.COM

OAK POINTE - PUD / MASTER PLAN
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

- 11/10/17
- 7/21/17
- 6/23/17
- 5/17/17
- 5/01/17
- 4/12/17

1/31/17
DRAWN BY: YB
SHEET NUMBER

L-2



HATCHING INDICATES
LIMITS OF TREE REMOVAL

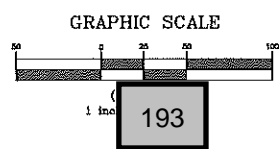
EXISTING TREES
TO BE PRESERVED

EXISTING TREE TO BE PRESERVED

EXISTING TREES
TO BE PRESERVED

MATCHLINE - SEE SHEET L-1

MATCHLINE - SEE SHEET L-1



TREE REMOVAL PLAN

(SHEET 2 OF 4)

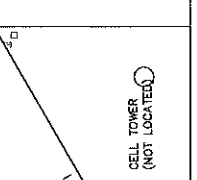
LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

MATCHLINE 'A' (THIS SHEET)

N29°52'07"W

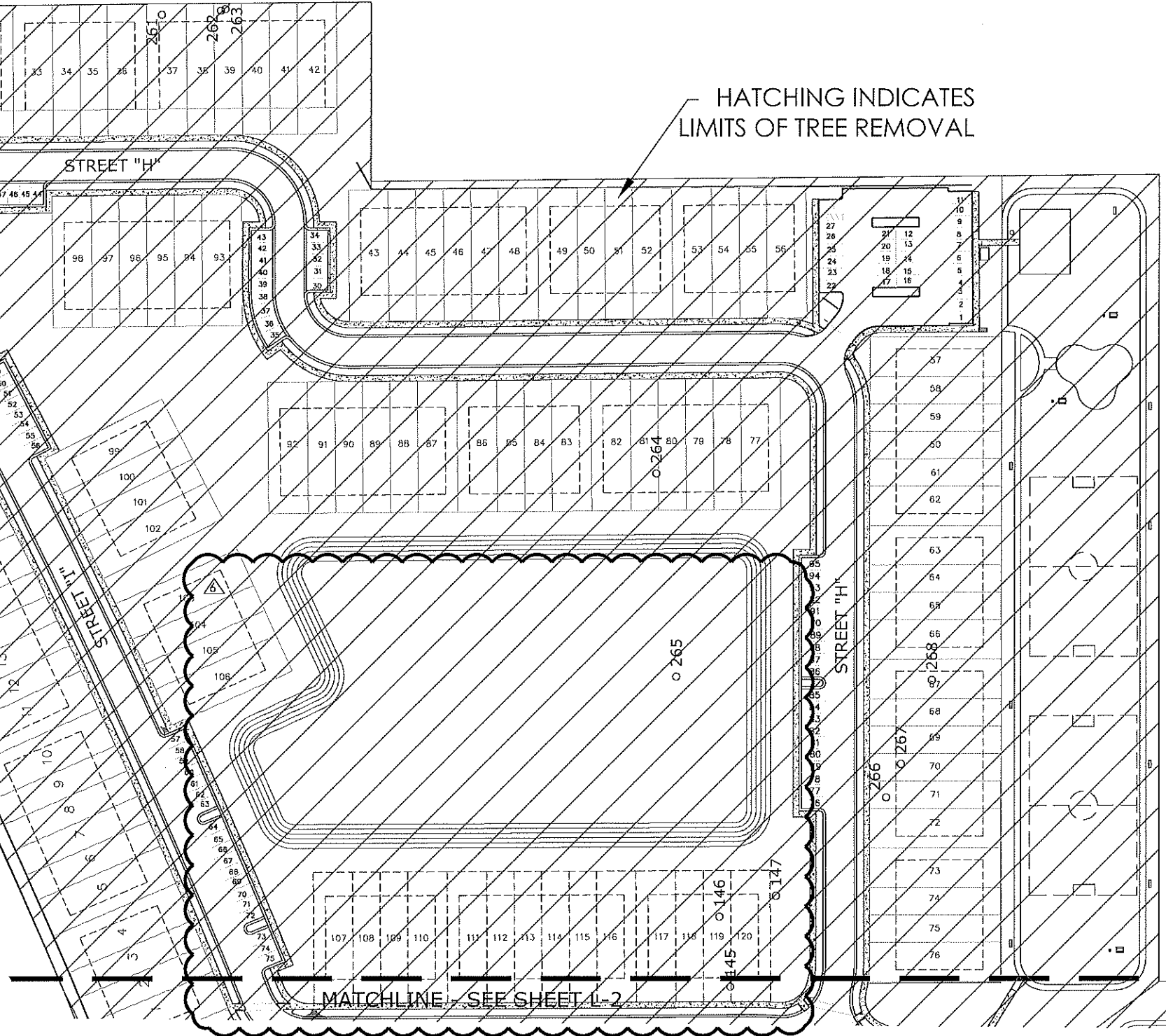


MATCHLINE 'A' (THIS SHEET)

23 TREE LOCATION AND NUMBER

HATCHING INDICATES LIMITS OF TREE REMOVAL

MATCHLINE - SEE SHEET L-2



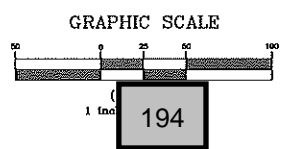
TREE REMOVAL PLAN

(SHEET 3 OF 4)

LANDSCAPE & IRRIGATION DESIGN

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SIGNATURE _____ REG. NO. _____ DATE _____



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TREE REMOVAL

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
1	OAK	5	SINGLE
2	PINE	14	SINGLE
3	PINE	8	SINGLE
4	PINE	12	SINGLE
12	OAK	24	SINGLE
13	OAK	24*	SINGLE
14	OAK	24	SINGLE
16	OAK	23	DOUBLE
17	OAK	38	SINGLE
35	OAK	24	SINGLE
36	OAK	36	SINGLE
37	OAK	26	SINGLE
38	OAK	30	SINGLE
39	OAK	24	DOUBLE
40	OAK	28	SINGLE
41	OAK	64	SINGLE
42	CABBAGE PALM	20	SINGLE
43	OAK	32	SINGLE
44	OAK	28	SINGLE
45	OAK	30	SINGLE
46	OAK	22	SINGLE
47	OAK	30	SINGLE
114	OAK	26	SINGLE
115	OAK	24*	SINGLE
116	OAK	24	SINGLE
117	OAK	30	SINGLE
118	OAK	28	SINGLE
119	OAK	32	SINGLE
120	OAK	30	SINGLE
121	OAK	44	SINGLE
122	OAK	28	SINGLE
123	OAK	30	SINGLE
124	OAK	30	SINGLE
125	OAK	42	SINGLE
126	OAK	34	SINGLE
127	OAK	26	SINGLE
128	OAK	30	SINGLE
129	OAK	30	SINGLE
130	OAK	46	SINGLE
131	OAK	28	SINGLE
132	OAK	28	SINGLE
133	OAK	52	SINGLE
134	OAK	24	SINGLE
135	OAK	34	SINGLE
136	OAK	24	SINGLE
137	OAK	32	SINGLE
138	OAK	24	SINGLE
139	OAK	32	SINGLE
140	OAK	80	SINGLE
141	OAK	24	SINGLE
142	OAK	26	SINGLE
143	OAK	40	SINGLE
144	OAK	24	SINGLE
145	OAK	22	SINGLE
146	OAK	24	SINGLE
147	OAK	44	SINGLE
148	OAK	26	SINGLE
151	OAK	42	SINGLE
152	OAK	36	SINGLE
172	OAK	6	DOUBLE
173	OAK	18	SINGLE
174	OAK	10	SINGLE
175	OAK	20	SINGLE
176	OAK	20	SINGLE
177	OAK	10	SINGLE
178	OAK	6	DOUBLE
179	OAK	8	SINGLE
180	OAK	12	SINGLE
181	OAK	18	SINGLE
182	OAK	24	SINGLE
183	OAK	8	DOUBLE
184	OAK	22	SINGLE
185	OAK	28	SINGLE
186	OAK	12	SINGLE
187	OAK	6	SINGLE

TREE PRESERVATION

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
188	OAK	14	SINGLE
189	OAK	12	SINGLE
190	OAK	12	SINGLE
191	OAK	48	SINGLE
194	OAK	24	SINGLE
195	OAK	18	DOUBLE
198	OAK	12	SINGLE
200	CABBAGE PALM	16	SINGLE
201	OAK	14	SINGLE
202	CABBAGE PALM	14	SINGLE
203	OAK	8	SINGLE
204	OAK	8	DOUBLE
205	OAK	32	SINGLE
206	OAK	14	DOUBLE
207	OAK	20	SINGLE
208	OAK	14	SINGLE
209	OAK	10	SINGLE
210	OAK	28	SINGLE
211	OAK	6	3-4 CLUSTER
212	CABBAGE PALM	16	SINGLE
213	OAK	10	3-4 CLUSTER
214	OAK	32	SINGLE
215	OAK	40	SINGLE
216	OAK	36	SINGLE
217	OAK	24	TRIPLE
218	OAK	30	SINGLE
219	OAK	36	SINGLE
220	OAK	42	SINGLE
221	OAK	42	SINGLE
222	OAK	50	SINGLE
223	OAK	40	SINGLE
224	OAK	28	SINGLE
225	OAK	26	TRIPLE
226	OAK	42	SINGLE
227	OAK	40	DOUBLE
228	OAK	38	SINGLE
229	OAK	24	TRIPLE
230	OAK	32	SINGLE
231	OAK	26	SINGLE
232	OAK	22	SINGLE
233	OAK	44	SINGLE
234	OAK	46	SINGLE
235	OAK	30	SINGLE
236	OAK	26	SINGLE
239	OAK	26	SINGLE
240	OAK	18	TRIPLE
242	OAK	30	SINGLE
243	OAK	30	SINGLE
244	OAK	20	SINGLE
245	OAK	18	SINGLE
246	OAK	18	SINGLE
247	OAK	26	SINGLE
248	OAK	18	SINGLE
249	OAK	24	SINGLE
250	OAK	20	SINGLE
251	OAK	32	SINGLE
252	OAK	34	SINGLE
253	OAK	40	SINGLE
254	OAK	42	SINGLE
255	OAK	34	SINGLE
256	OAK	68	SINGLE
257	OAK	28	SINGLE
258	OAK	18	SINGLE
259	OAK	20	SINGLE
260	OAK	28	SINGLE
261	OAK	28	SINGLE
262	OAK	18	SINGLE
263	OAK	16	DOUBLE
264	OAK	52	SINGLE
265	OAK	42	SINGLE
266	OAK	26	SINGLE
267	OAK	26	SINGLE
268	OAK	34	SINGLE
269	OAK	10	SINGLE

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
49	OAK	12	SINGLE
50	OAK	32	SINGLE
51	OAK	28	SINGLE
52	OAK	14	SINGLE
53	OAK	16	SINGLE
54	OAK	14	SINGLE
55	OAK	14	SINGLE
56	OAK	14	SINGLE
57	OAK	64	SINGLE
58	OAK	18	SINGLE
59	OAK	14	SINGLE
60	OAK	18	SINGLE
61	OAK	30	SINGLE
62	OAK	8	SINGLE
63	OAK	8	SINGLE
64	OAK	20	SINGLE
65	OAK	12	SINGLE
66	OAK	16	SINGLE
67	OAK	20	SINGLE
68	OAK	6	SINGLE
69	OAK	18	SINGLE
70	OAK	16	SINGLE
71	OAK	8	SINGLE
72	OAK	18	SINGLE
73	OAK	6	SINGLE
149	OAK	10	SINGLE
150	PINE	10	SINGLE
153	OAK	32	SINGLE
154	OAK	10	SINGLE
155	OAK	28	SINGLE
156	OAK	26	SINGLE
157	OAK	18	SINGLE
158	OAK	12	SINGLE
159	OAK	28	SINGLE
160	OAK	12	SINGLE
161	OAK	6	SINGLE
162	OAK	26	SINGLE
163	OAK	8	SINGLE
164	OAK	8	SINGLE
165	OAK	8	SINGLE
166	OAK	32	SINGLE
167	OAK	8	SINGLE
168	OAK	6	SINGLE
169	OAK	14	SINGLE
170	OAK	12	SINGLE
171	OAK	8	SINGLE
192	OAK	10	SINGLE
193	OAK	10	SINGLE
196	OAK	8	SINGLE
197	CABBAGE PALM	14	SINGLE
199	OAK	12	SINGLE
236	OAK	60	SINGLE
237	OAK	38	SINGLE
241	OAK	20	SINGLE

TREE REMOVAL DATA

TOTAL EXISTING TREES TO BE REMOVED: 160 TREES (4,024")
 SPECIMEN TREES (>24" DBH) REMOVED: 98 TREES (3,192")
 PROTECTED TREES (<24" DBH) REMOVED: 62 TREES (832")
 (NOTE: CABBAGE PALMS & TREES UNDER 6" DBH NOT INCLUDED)

TREE PRESERVATION DATA

TOTAL EXISTING TREES TO BE PRESERVED: 53 TREES (926")
 SPECIMEN TREES (>24" DBH) PRESERVED: 12 TREES (424")
 PROTECTED TREES (<24" DBH) PRESERVED: 41 TREES (502")
 (NOTE: CABBAGE PALMS & TREES UNDER 6" DBH NOT INCLUDED)

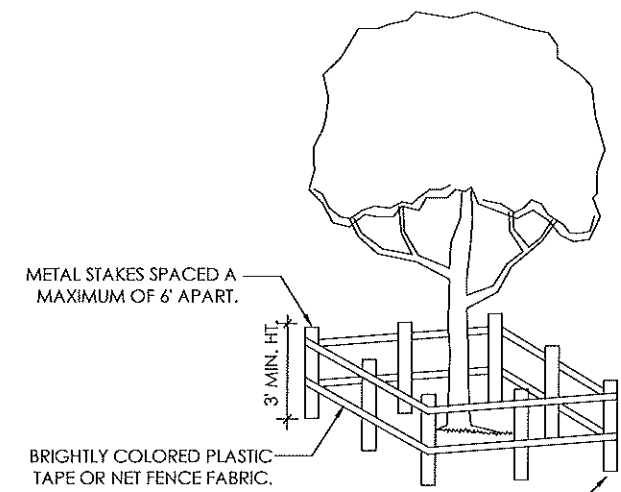
TREE REQUIREMENT (MAX. TREE STOCK CALCULATION)

TOTAL SITE AREA: 3,022,193 SQ. FT. (69.38 ACRES)
 TREES REQUIRED: 378 TREES (1 TREE/8,000 SQ. FT.)
 TREES PROVIDED: 880 TREES (INCLUDES BUFFER TREES)

TREE REPLACEMENT (PROPOSED TREES)

9 LIVE OAKS x 3.5" DBH = 31.5"
 286 LIVE OAKS x 3" DBH = 858"
 7 MAGNOLIAS x 3" DBH = 21"
 30 RED MAPLES x 3" DBH = 90"
 64 BALD CYPRESS x 3" DBH = 192"
 296 LOT CANOPY TREES x 3" DBH = 888"
 64 RED CEDARS x 3" DBH = 192"
 48 YAUPON HOLLIES x 3" DBH = 144"
 76 CRAPE MYRTLES x 3" DBH = 228"
880 PROPOSED TREES = 2,644.5"

TREE PROTECTION DETAIL



PROTECTIVE BARRIERS SHALL BE PLACED AT POINTS NOT CLOSER THAN SIX (6) FEET FROM THE BASE OF THE TREE OR AT THE RADIUS OF THE DRIP-LINE OF THE PROTECTED TREE OR STAND OF TREES, WHICHEVER IS GREATER. EACH SECTION OF THE BARRIER SHALL BE CLEARLY VISIBLE (FLAGGED WITH BRIGHTLY COLORED PLASTIC TAPES OR OTHER MARKERS). NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE OR NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE.

TREE PROTECTION NOTES

All protected tree shall have the trunk and roots protected by protective barriers erected prior to development activity in accordance with the following:

1. Protective barriers constructed of wood rails, chain link fabric or orange plastic safety netting shall be placed around the tree or trees to form a continuous barricade at least four feet high. Ideally such barriers will form a protection zone described by the drip line.
2. Protective barriers shall remain in place until landscape operations begin or until construction in the immediate area has been completed.
3. Trenching for underground utilities shall be prohibited inside the protective barriers. If underground utilities must be routed through the protected area, tunneling shall be required. All landscape preparation in these areas shall be conducted by hand, except for mechanical tunneling as needed.
4. No vehicles, equipment, materials or fill shall be placed or stored within the protected area.

TREE REMOVAL & TREE PRESERVATION TABLE NOTES:

1. TREES #13 & #115 SIZES CHANGED DUE TO ERROR IN SIZE REPORTED ON TREE SURVEY FOUND DURING SITE ANALYSIS BY LANDSCAPE ARCHITECT (INDICATED BY *).
2. TREES #145, #148, #222, #238, #249, #251, #253, #254 & #260 OMITTED FROM TREE MITIGATION CALCULATIONS DUE TO EXTREME POOR HEALTH AND/OR DISEASE (INDICATED BY STRIKETHROUGH).
3. TREES #5 THRU #11, #15, #18 THRU #34, #48, & #74 THRU #113 HAVE BEEN OMITTED FROM THE TREE REMOVAL & TREE PRESERVATION TABULATIONS AS THEY ARE OUTSIDE THE LIMITS OF THE PROJECT.
4. CABBAGE PALMS (#42, #197, #200, #202 & #212) HAVE BEEN OMITTED FROM THE TREE REMOVAL & TREE PRESERVATION TABULATIONS DUE TO "NON-PROTECTED" STATUS (INDICATED BY STRIKETHROUGH).

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SCHWEIER
BOJACK
LANDSCAPE
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 94883 • HAWAII, FLORIDA 32794 • PH: (407) 524-1423
LICENSE NO. LC1600467 • DESIGN@SCHWEIERBOJACK.COM

OAK POINTE - PUD / MASTER PLAN
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

11/10/17
7/21/17
6/23/17
5/17/17
5/01/17
4/12/17

TREE REMOVAL PLAN

(SHEET 4 OF 4)

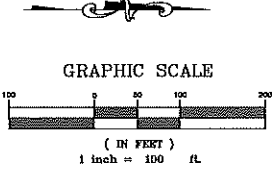
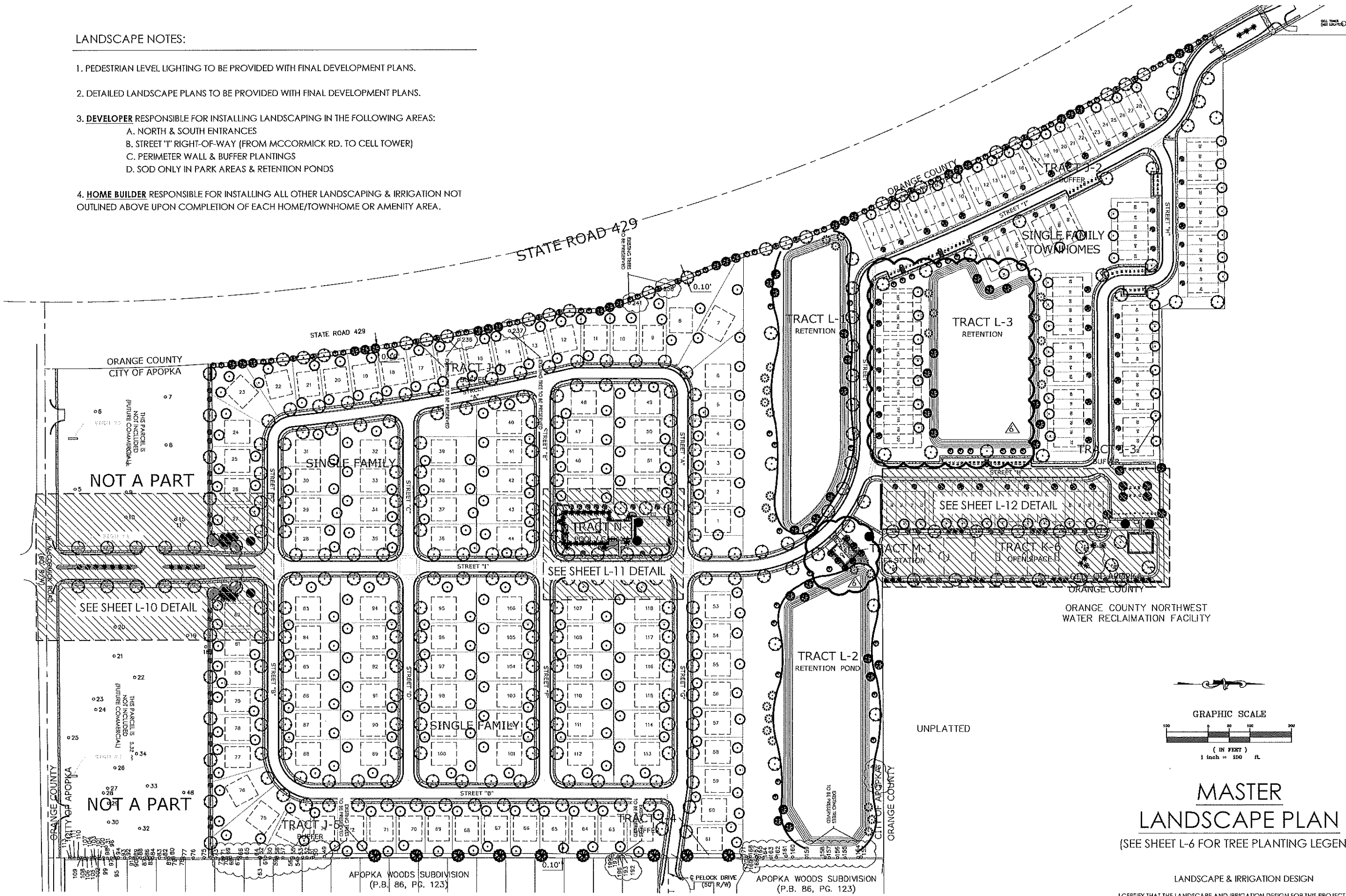
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SIGNATURE _____ REG. NO. _____ DATE _____

LANDSCAPE NOTES:

1. PEDESTRIAN LEVEL LIGHTING TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
2. DETAILED LANDSCAPE PLANS TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
3. **DEVELOPER** RESPONSIBLE FOR INSTALLING LANDSCAPING IN THE FOLLOWING AREAS:
 - A. NORTH & SOUTH ENTRANCES
 - B. STREET "I" RIGHT-OF-WAY (FROM MCCORMICK RD. TO CELL TOWER)
 - C. PERIMETER WALL & BUFFER PLANTINGS
 - D. SOD ONLY IN PARK AREAS & RETENTION PONDS
4. **HOME BUILDER** RESPONSIBLE FOR INSTALLING ALL OTHER LANDSCAPING & IRRIGATION NOT OUTLINED ABOVE UPON COMPLETION OF EACH HOME/TOWNHOME OR AMENITY AREA.



**MASTER
LANDSCAPE PLAN**
(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

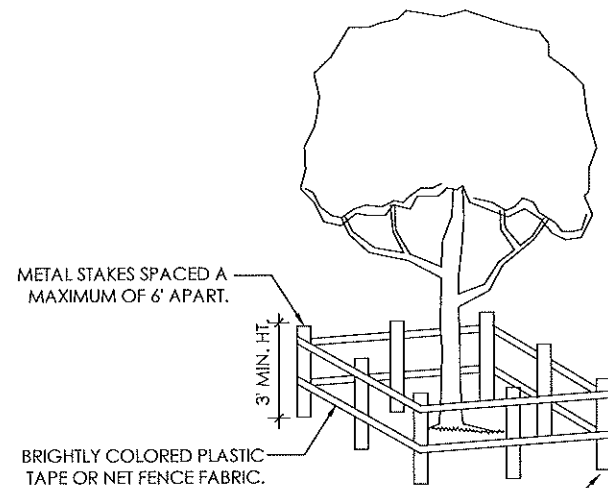
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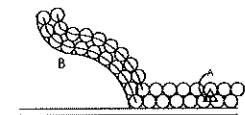
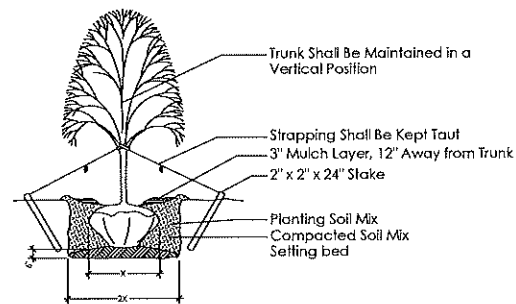
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TREE PROTECTION DETAIL



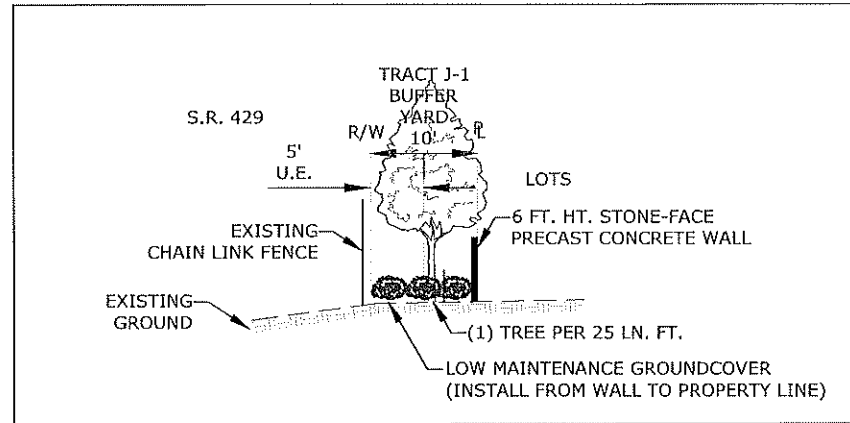
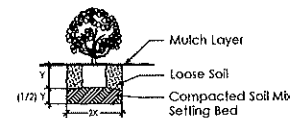
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PLANTING DETAILS



A Shrubs & groundcovers adjacent to straight edges straight edge.

B Shrubs & groundcovers adjacent to curved edges shall be planted in rows parallel to the curved edge.



TYPICAL WESTERN LANDSCAPE BUFFER SECTION (SCALE: N.T.S.)

LANDSCAPE GENERAL NOTES

- The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
- The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
- All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
- The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
- No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
- The Landscape Contractor is responsible for testing project soils. The Landscape Contractor is to provide a certified soils report to the Owner and Landscape Architect. The Landscape Contractor shall verify that the soils on site are acceptable for proper growth of the proposed plant material. Should the Landscape Contractor find poor soil conditions, the Owner and Landscape Architect must be consulted prior to planting.
- All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
- All proposed trees to be installed either entirely in or entirely out of planting beds. Planting bedlines are not to be obstructed; smooth and flowing.
- The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
- The Landscape Contractor shall coordinate with the lighting and irrigation contractors regarding the timing of the installation of plant material.
- Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.

IRRIGATION NOTE

Irrigation Plan will be provided at time of the Final Development Plan.

LANDSCAPE DEVELOPMENT NOTES:

- PEDESTRIAN LEVEL LIGHTING TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
- DETAILED LANDSCAPE PLANS WITH PLANTING SCHEDULE TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
- DEVELOPER** RESPONSIBLE FOR INSTALLING LANDSCAPING IN THE FOLLOWING AREAS:
 - NORTH & SOUTH ENTRANCES
 - STREET "T" RIGHT-OF-WAY (FROM MCCORMICK RD. TO CELL TOWER)
 - PERIMETER WALL & BUFFER PLANTINGS
 - SOD ONLY IN PARK AREAS & RETENTION PONDS
- HOME BUILDER** RESPONSIBLE FOR INSTALLING ALL OTHER LANDSCAPING & IRRIGATION NOT OUTLINED ABOVE UPON COMPLETION OF EACH HOME/TOWNHOME OR AMENITY AREA.

TREE PLANTING LEGEND

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
☼	QV1	9	Live Oak <i>Quercus virginiana</i>	3 1/2" DBH, 12' - 14' HT., 100 Gal. or B&B
☼	QV2	286	Live Oak <i>Quercus virginiana</i>	3" DBH, 10' - 12' HT., 100 Gal. or B&B
●	MG	7	Southern Magnolia <i>Magnolia grandiflora</i>	3" DBH, 10' - 12' HT., 100 Gal. or B&B
☼	AR	30	Red Maple <i>Acer rubrum</i>	3" DBH, 10' - 12' HT., 100 Gal. or B&B
☼	TD	64	Bald Cypress <i>Taxodium distichum</i>	3" DBH, 10' - 12' HT., 100 Gal. or B&B
☼	LOT	296	Canopy Tree (Species to be Selected by Lot Owner: Live Oak, Magnolia, Red Maple or Elm Tree)	3" DBH, 10' - 12' HT., 100 Gal. or B&B
●	JV	64	Red Cedar <i>Juniperus virginiana</i>	3" DBH, 10' - 12' HT., 100 Gal. or B&B
●	IVN	48	Upright Yaupon Holly <i>Lagerstroemia indica</i>	3" Total DBH, Multi Trunk, 8' - 10' HT., 100 Gal. or B&B
●	LI	76	Crape Myrtle <i>Lagerstroemia indica</i>	3" Total DBH, Multi Trunk, 8' - 10' HT., 100 Gal. or B&B

NOTE: Additional Details on Palms, Ornamentals, Shrubs & Groundcovers to be included on Final Development Plan

PROPOSED TREE PLANTING INCHES

9 LIVE OAKS x 3.5" DBH =	31.5"
286 LIVE OAKS x 3" DBH =	858"
7 MAGNOLIAS x 3" DBH =	21"
30 RED MAPLES x 3" DBH =	90"
64 BALD CYPRESS x 3" DBH =	192"
296 LOT CANOPY TREES x 3" DBH =	888"
64 RED CEDARS x 3" DBH =	192"
48 YAUPON HOLLIES x 3" DBH =	144"
76 CRAPE MYRTLES x 3" DBH =	228"
880 PROPOSED TREES =	2,644.5"

LANDSCAPE NOTES & DETAILS

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

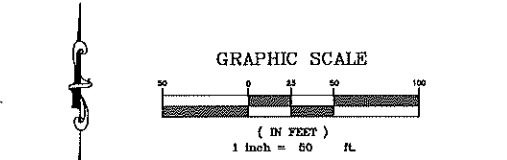
SIGNATURE _____ REG. NO. _____ DATE _____

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ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 94833 • HAVILAND, FLORIDA 32794 • PH: (407) 374-1423
LICENSE NO. LC20200487 • DESIGN@SCHWEIZERBOJACK.COM



LANDSCAPE PLAN

(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 206P ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

OAK POINTE - PUD / MASTER PLAN
1527 W. MCCORMICK ROAD - CITY OF APOPKA - FL 32703

11/10/17
7/21/17
6/23/17
5/17/17
5/01/17
4/12/17
1/31/17

DRAWN BY: KB
SHEET NUMBER

L-7

198

SEE SHEET L-10 FOR ENTRANCE LANDSCAPE, SIGNAGE, PERIMETER WALL & DETAILS

THIS PARCEL IS NOT INCLUDED (FUTURE COMMERCIAL)

THIS PARCEL IS NOT INCLUDED (FUTURE COMMERCIAL)

W. MCCORMICK ROAD (60' R/W)

STATE ROAD 429

MATCHLINE - SEE SHEET L-8

MATCHLINE - SEE SHEET L-8

EXISTING TREE TO BE PRESERVED

GROUND COVER TO FILL ENTIRE 10 FT. BUFFER AREA (TYP)

10 FT. WESTERN LANDSCAPE BUFFER
6' HT. STONE-FACE PRECAST WALL WITH (1) TREE PER 25 LN. FT. & SOLID GROUND COVER

2.5 FT. BAHIA SOD STRIP (FOR MAINTENANCE)

BOOVED CABBAGE PALMS WITH GOLDMOUND & JUNIPER GROUNDCOVERS

LANDSCAPED MEDIAN WITH SIGNAGE

PROPOSED LIVE OAK TREE WITH GROUND COVER (TYP)

LANDSCAPED ENTRY, SEE SHEET L-9 (PLANTING DETAILS TO BE PROVIDED WITH FINAL DEVELOPMENT PLAN)

10 FT. SOUTHERN LANDSCAPE BUFFER
6' HT. STONE-FACE PRECAST WALL WITH (1) TREE PER 35 LN. FT., 36" HT. CONTINUOUS EVERGREEN HEDGE & GROUND COVER PLANTINGS

10 FT. EASTERN LANDSCAPE BUFFER
(1) 3.5" DBH CANOPY TREE PER 100 LN. FT. & 3 FT. WIDE PLANTED GROUND COVER STRIP

EXISTING TREES TO BE PRESERVED

CANOPY LOT TREE (TYP)

PROPOSED LIVE OAK STREET TREE IN 5 FT. H.O.A. EASEMENT (TYP)

CANOPY LOT TREE (TYP)

PROPOSED LIVE OAK STREET TREE IN 5 FT. H.O.A. EASEMENT (TYP)

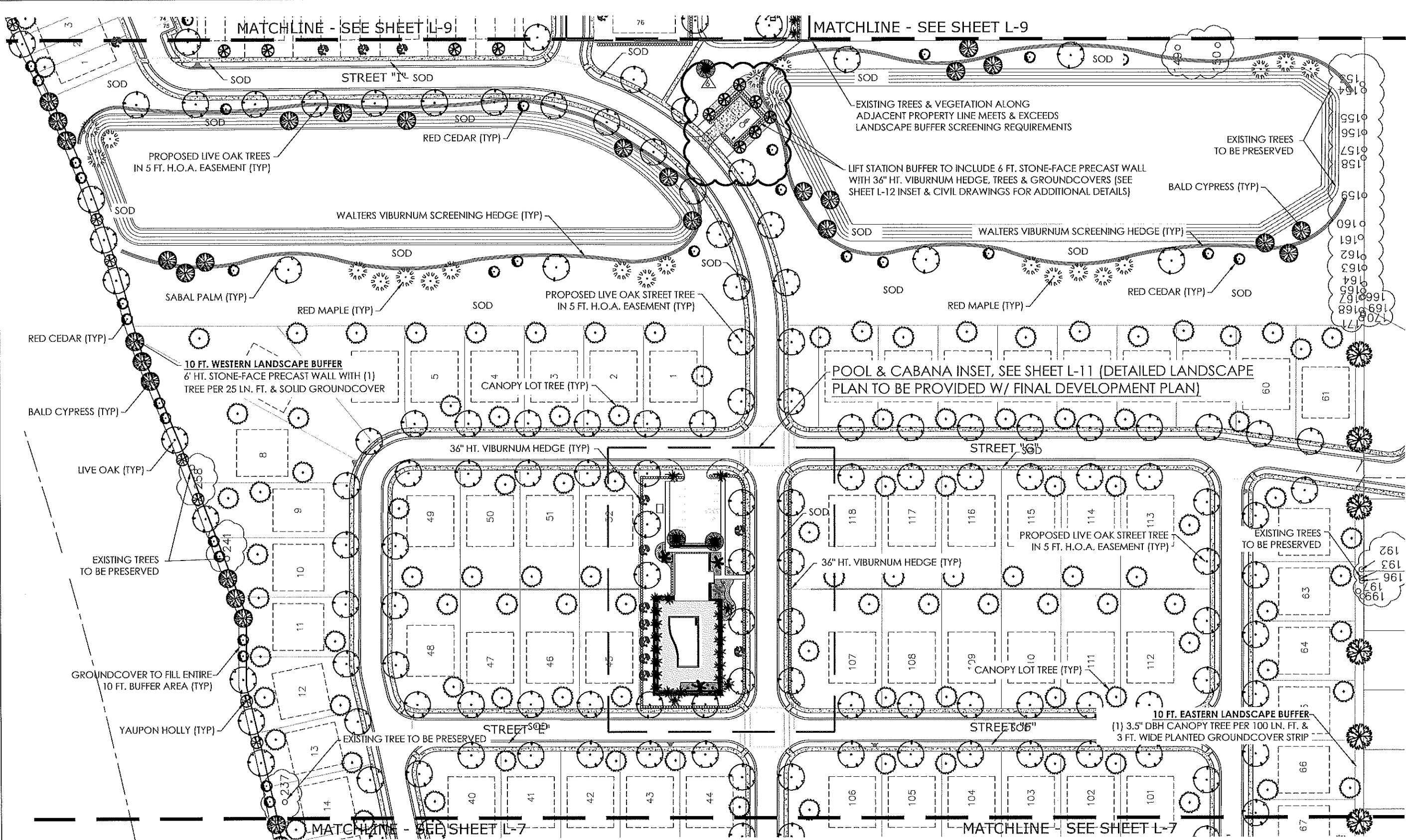
CANOPY LOT TREE (TYP)

LIVE OAK STREET TREE (TYP)

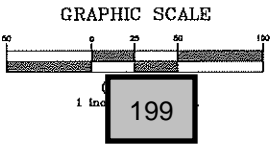
CANOPY LOT TREE (TYP)

LIVE OAK STREET TREE (TYP)

EXISTING TREE TO BE PRESERVED



All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BO JACK LANDSCAPE ARCHITECTURE LLC and were created, evolved and developed for the use on and connection with this specific project.



LANDSCAPE PLAN

(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

MATCHLINE A (THIS SHEET)

NORTHERN ENTRANCE
SEE SHEET L-10 FOR GATE & COLUMN DETAILS

RED CEDAR (TYP)

GROUND COVER TO FILL ENTIRE
10 FT. BUFFER AREA (TYP)

LIVE OAK (TYP)

BALD CYPRESS (TYP)

10 FT. WESTERN LANDSCAPE BUFFER
6 HT. STONE-FACE PRECAST WALL WITH (1)
TREE PER 25 LN. FT. & SOLID GROUND COVER

YAUPON HOLLY (TYP)

GROUND COVER TO FILL ENTIRE
10 FT. BUFFER AREA (TYP)

CELL TOWER
(NOT LOCATED)

MATCHLINE A (THIS SHEET)

STREET "H"

STREET "I"

STREET "J"

STREET "H"

STREET "I"

EXISTING TREES & VEGETATION ALONG ADJACENT
PROPERTY LINE MEETS & EXCEEDS LANDSCAPE
BUFFER SCREENING REQUIREMENTS

SEE SHEET L-12 FOR TYPICAL TOWNHOME LAYOUT/
NOTES, PARK DETAILS & LIFT STATION DETAILS

DOG PARK WITH 5 FT.
HEIGHT VINYL COATED
CHAIN LINK FENCE

MULCHED WALKING
TRAIL (TYP)

PLAYGROUND AREA
(SEE SHEET L-12)

MULTI-PURPOSE
PLAYING FIELD

BENCH (TYP)

PICNIC TABLE & LITTER
RECEPTACLE, TYP.
(SEE SHEET L-12)

MATCHLINE SEE SHEET L-8

MATCHLINE SEE SHEET L-8

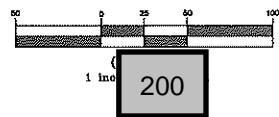
LANDSCAPE PLAN

(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN
ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21,
2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

GRAPHIC SCALE

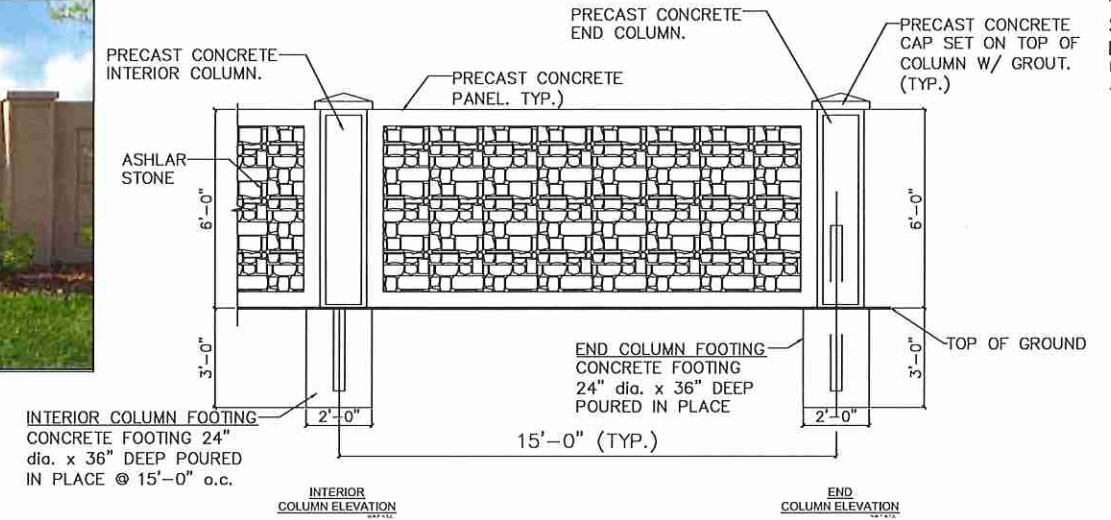
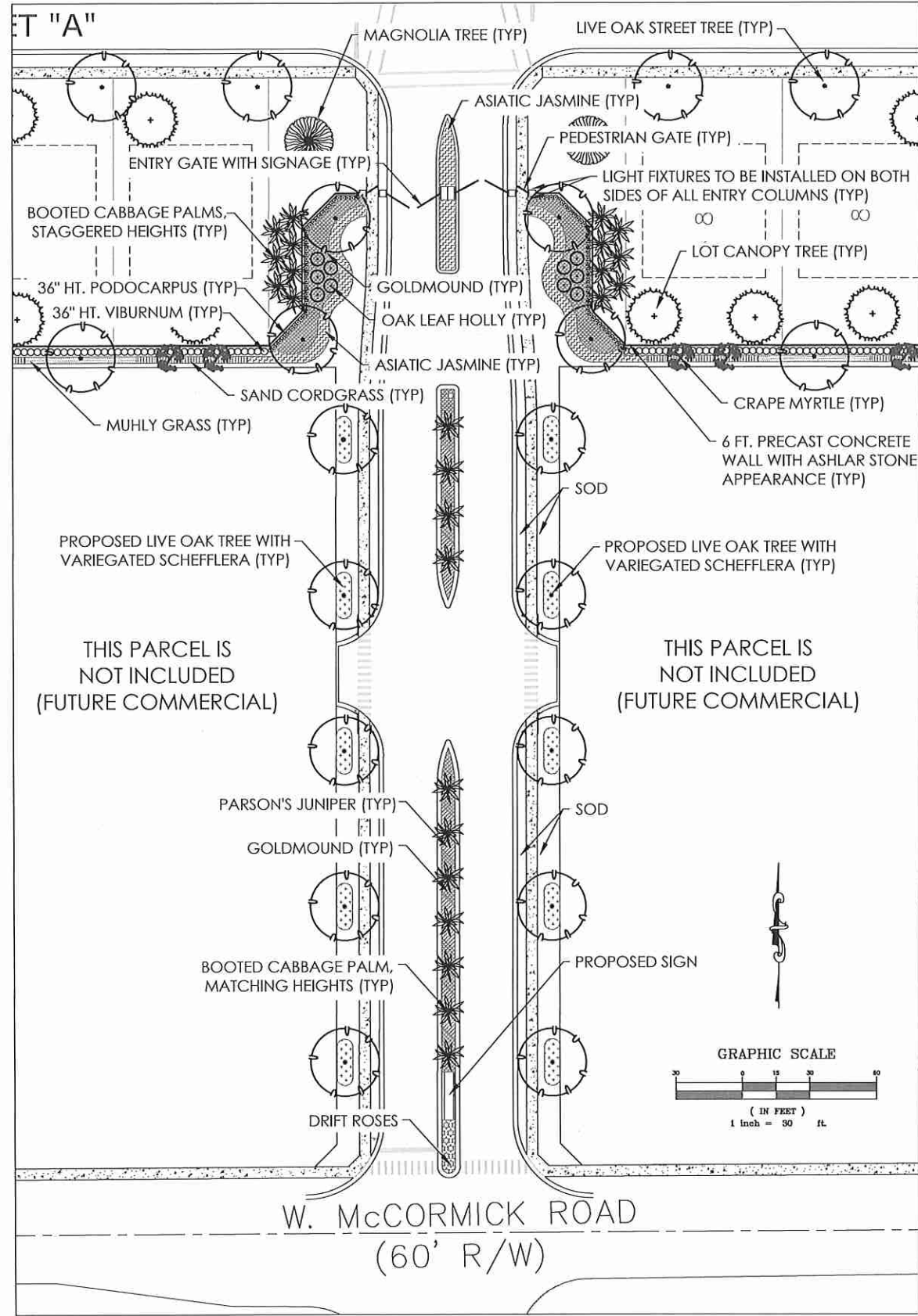


SIGNATURE _____ REG. NO. _____ DATE _____

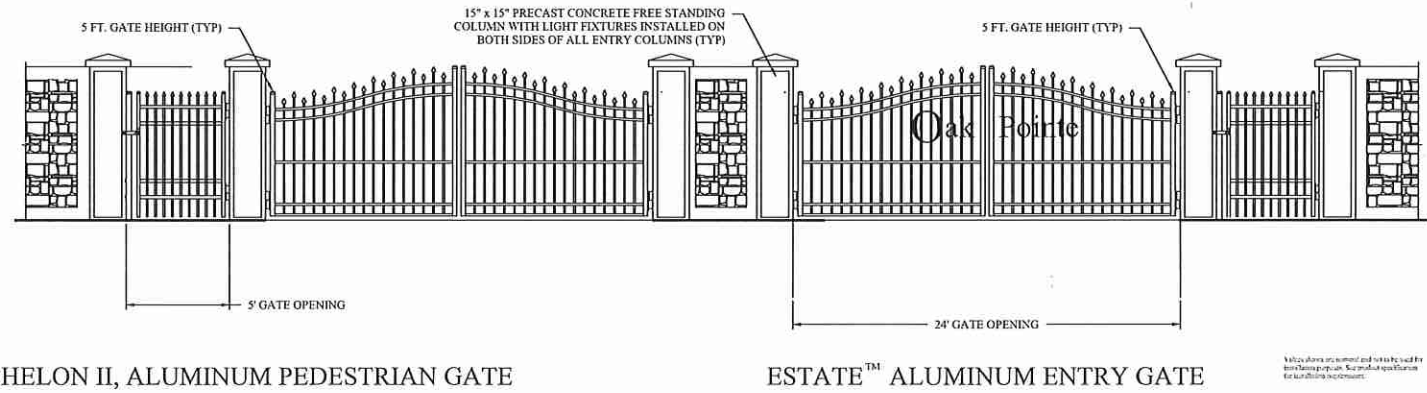
All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BO JACK LANDSCAPE ARCHITECTURE LLC and were created, evolved and developed for the use on and connection with this specific project.

SOUTHERN ENTRANCE LANDSCAPE

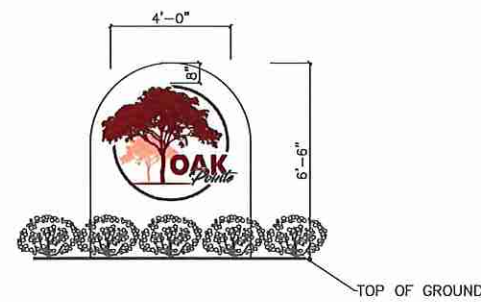
WALL DETAILS



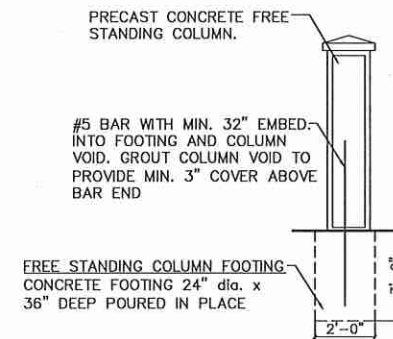
GATE ELEVATIONS (TYPICAL LAYOUT FOR NORTH & SOUTH ENTRIES)



SOUTH ENTRY SIGN ELEVATION



FREE STANDING COLUMN



ENTRANCE LANDSCAPE PLAN

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE REG. NO. DATE



SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE

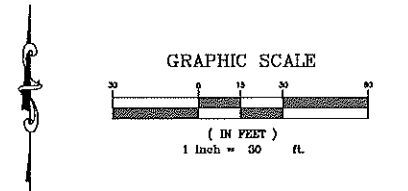
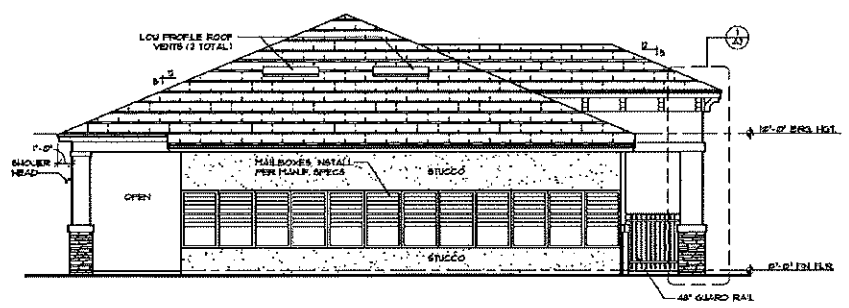
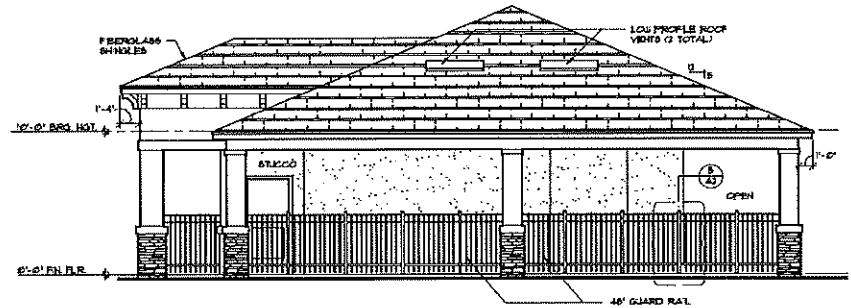
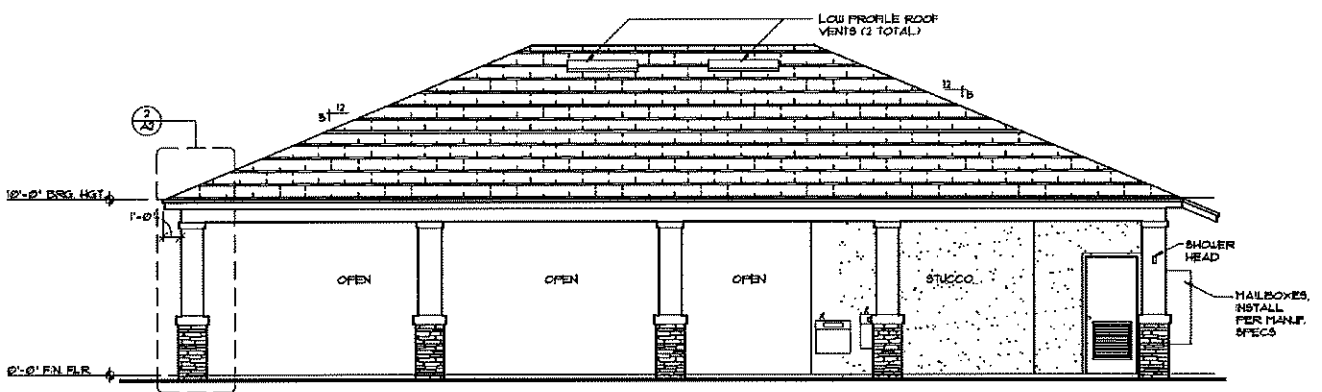
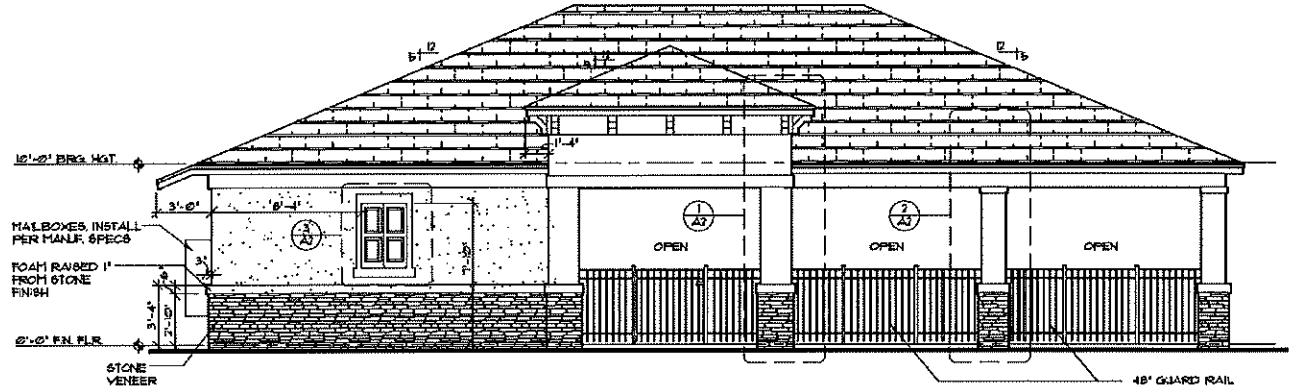
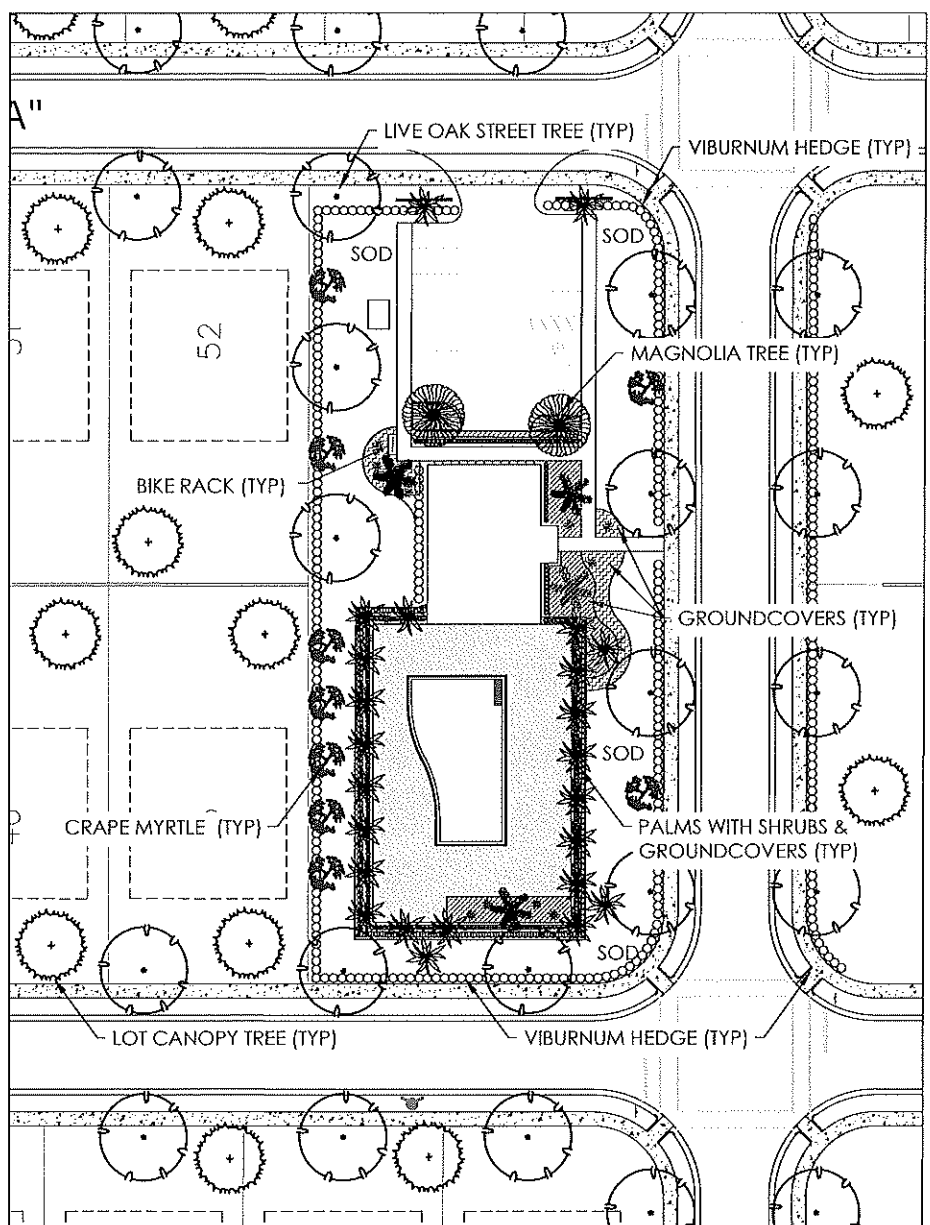
LANDSCAPE & IRRIGATION DESIGN
 PO BOX 48883 • MIAMI, FLORIDA 33148 • PH: (407) 374-1423
 LICENSE NO. LC1802046 • DESIGN@SCHWEIZERBOJACK.COM

OAK POINTE - PUD / MASTER PLAN
 1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

- 11/10/17
 - 7/21/17
 - 6/23/17
 - 5/17/17
 - 5/01/17
 - 4/12/17
 - 1/31/17
- SWEET NUMBER L-10

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZERBOJACK LANDSCAPE ARCHITECTURE LLC and were created, evolved and developed for the use on and connection with this specific project.

POOL & CABANA LANDSCAPE



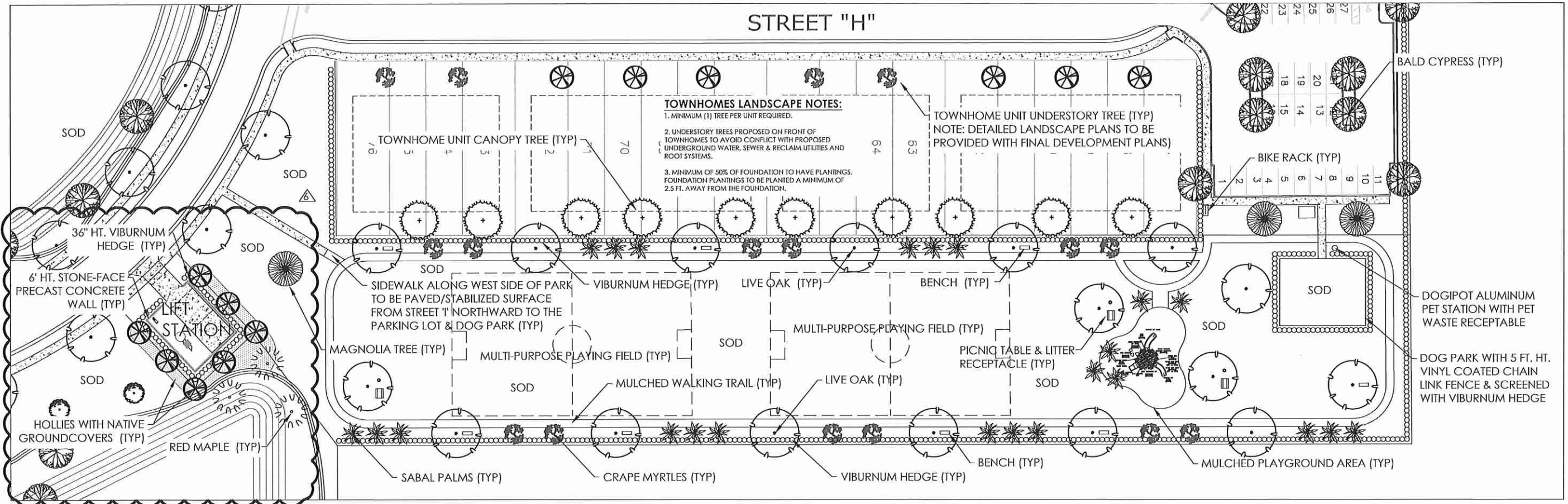
POOL & CABANA
LANDSCAPE PLAN

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____

TOWNHOME, LIFT STATION & PARK



(A) TUFFCLAD SERIES HEAVY DUTY PICNIC TABLE
Model 28014, by Gametime



(B) ARLINGTON SERIES BENCH WITH ARMREST
Model UF9106, by Gametime



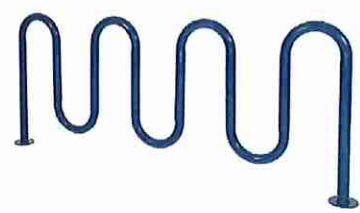
(C) ARLINGTON SERIES LITTER RECEPTACLE
Model UL9310 - 24" x 30", by Gametime



(D) CANYON CABIN PLAYGROUND
Model PS16010, by PowerScape

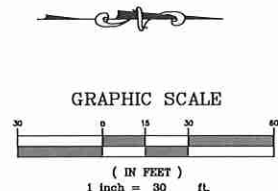


(E) LOOP BICYCLE RACK
Model 7700, by Gametime



PARK & AMENITY PLAN NOTES:

1. PEDESTRIAN LEVEL LIGHTING TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
2. DETAILED LANDSCAPE PLANS WITH ADDITIONAL GROUNDCOVERS TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
3. SIDEWALK RUNNING ALONG WESTERN SIDE OF PARK SHALL BE PAVED/STABILIZED SURFACE FROM STREET "I" NORTHWARD TO THE PARKING LOT & DOG PARK TO ACCOMMODATE HANDICAP ACCESSIBILITY.



**TOWNHOME, LIFT STATION & PARK
LANDSCAPE & AMENITIES PLAN**

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ REG. NO. _____ DATE _____



SCHWEIZER
BO JACK
LANDSCAPE
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN
PO BOX 9885 • MAITLAND, FLORIDA 32754 • PH. (407) 374-1423
LICENSE NO. LC2620487 • DESIGN@SCHWEIZERBOJACK.COM

OAK POINTE - PUD / MASTER PLAN
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

- 11/10/17
- 7/21/17
- 6/23/17
- 5/17/17
- 5/01/17
- 4/12/17

1/31/17
DRAWN BY: KB
SHEET NUMBER

L-12

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE, LLC and were created, evolved and developed for the use on and connection with this specific project.

Express
HOMES



Elevation - "C"



Elevation - "D"

The Elle
5 Bedroom | 2.5 Bath | 2 Car Garage
2,807 Square Feet

Eastham 1756E -



A



B

Wellfleet 1798E -



A



B

Harwich 1542E -



A



B

DATE	REVISIONS	BY
4-24-17	1 REV PER DRC COMMENTS	TVW/MWK
6-24-17	2 REV PER DRC COMMENTS	M/WK

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 6788

DAVID L. EVANS
FLORIDA P.E. NO. 46846
DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
LAND PLANNING ARCHITECTURAL SERVICES
719 IRMA AVENUE # 32803
ORLANDO, FLORIDA 32803
WWW.EVANSENGINEERING.COM
CERTIFICATE OF AUTHORIZATION NO. 00009798

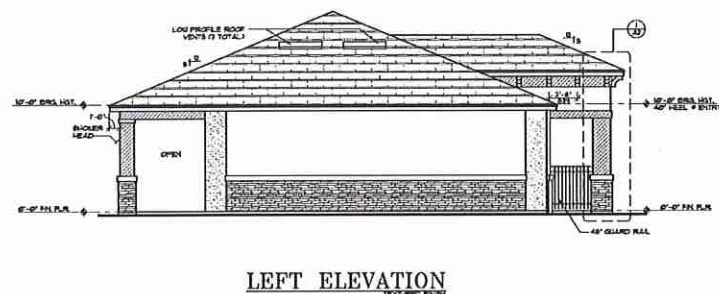
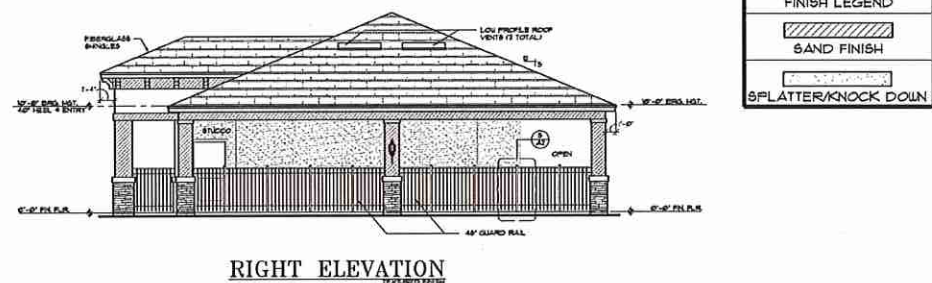
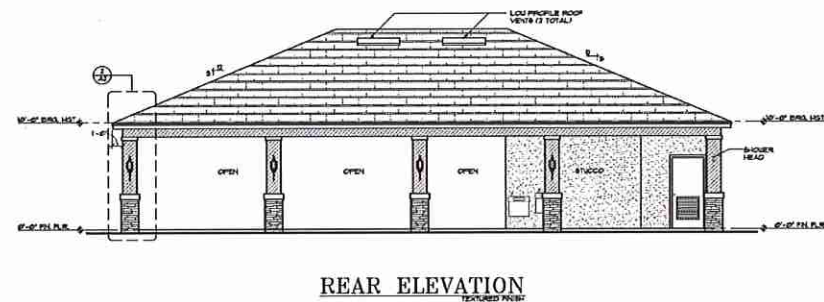
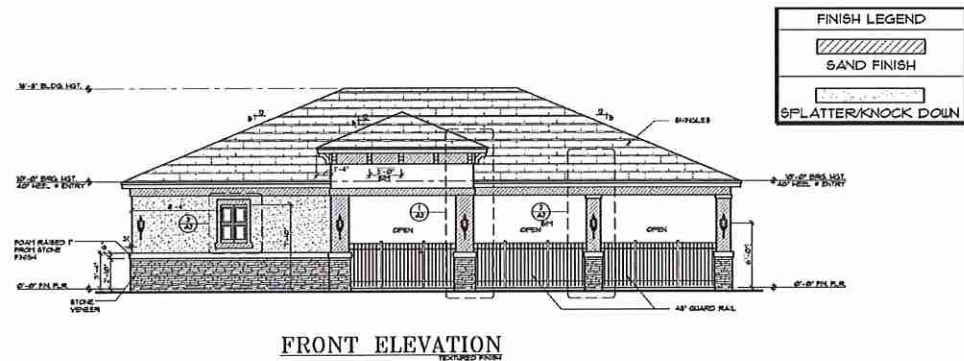
OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

PRELIMINARY
DEVELOPMENT PLAN
ARCHITECTURAL
ELEVATIONS

DRAWN:
TVW / MWK
CHECKED:
MPG
DATE:
NOV 2017
SCALE:
NTS
JOB #:
25801
SHEET #:

A2

A:\25801\25801 - Oak Pointe\Drawings\VP & ARCH\25801 - 10-20-17.dwg - 10/20/17 - 12:45pm by Jmccree



POOL CABANA

FINISH LEGEND

	SAND FINISH
	9" PLATTER/KNOCK DOWN

FINISH LEGEND

	SAND FINISH
	9" PLATTER/KNOCK DOWN



HOLLY
3 Bedroom | 2.5 Bath
1-Car Garage
1,530 Sq. Ft.

TOWNHOUSES



KELSEY
3 Bedroom | 2.5 Bath
1-Car Garage
1,674 Sq. Ft.

TOWNHOUSES

DATE	REVISIONS	BY
4-25-17	1 REV PER DRC COMMENTS	TVW/MWK
6-26-17	2 REV PER DRC COMMENTS	JKM/MWK

EVANS ENGINEERING, INC.
AUTHORIZATION NO. 6788

DAVID L. EVANS
FLORIDA P.E. NO. 46586
DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
LAND SURVEYING & PLANNING SERVICES
719 IRMA AVENUE
ORLANDO, FLORIDA 32803
(407) 872-1515
WWW.EVANS-ENG.COM
CERTIFICATE OF AUTHORIZATION NO. 00006788

OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
CITY OF APOPKA, FLORIDA

PRELIMINARY
DEVELOPMENT PLAN
ARCHITECTURAL
ELEVATIONS

DRAWN:
TVW / MWK
CHECKED:
MPG
DATE:
NOV 2017
SCALE:
NTS
JOB #:
25801
SHEET #:

A3

2:\005\25801 - Oak Pointe\Drawings\25801-10-PP-04.dwg (A3) Plotted on: Nov 13, 2017 - 12:58pm by aevans

Parcel ID:
32-21-28-0000-00-036
Owner: William E Black
Zoning: CITRUS RURAL (ORANGE CO.)
FLU: RURAL (ORANGE CO.)

Parcel ID:
32-21-28-0000-00-010
Owner:
Orange County BBC
Zoning: A-1 Agricultural
FLU: Rural

Parcel ID:
32-21-28-0000-00-016
Owner:
Orrin L Barnes
Zoning: CITRUS RURAL ((ORANGE CO.)
FLU: RURAL (ORANGE CO.)

Parcel ID:
29-21-28-0000-00-049
Owner:
Central Florida Expressway

STATE ROAD 429
(PUBLIC RIGHT OF WAY)

NOT A PART

TRACT K-10
OPEN

TRACT K-11
OPEN

NOT A PART

TRACT J-1
BUFFER

TRACT K-1
OPEN

WEST LOT AREA

TRACT N-1
OPEN / REC

EAST LOT AREA

TRACT K-2
OPEN

TRACT L-1
RETENTION

TRACT K-8
OPEN

TRACT L-2
RETENTION POND

TRACT J-2
BUFFER

TRACT L-3
RETENTION

TRACT M-1
LIFT STATION

TRACT K-6
OPEN SPACE / REC

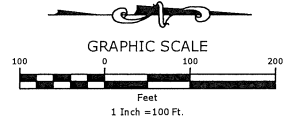
TRACT J-3
BUFFER

TRACT O-1
PARKING/ROW

TRACT K-4
OPEN

TRACT K-5
OPEN

Parcel ID:
28-21-28-0000-00-010
Owner:
Orange County BBC
Zoning: A-1



PUD/MASTER SITE PLAN AMENDMENT
PROPOSED USE DATA TABLE

TRACT	ZONING	ACREAGE	PROPOSED USE	OWNER	MAINTAINED BY
WEST LOT AREA	PUD	11.98	R-3 (SF)	HOA	HOA
EAST LOT AREA	PUD	15.57	R-3 (SF)	HAO	HOA
TH LOT AREA	PUD	8.20	R-3 (TH)	HOA	HOA
J-1	PUD	0.30	BUFFERYARD	HOA	HOA
J-2	PUD	0.25	BUFFERYARD	HOA	HOA
J-3	PUD	0.06	BUFFERYARD	HOA	HOA
J-4	PUD	0.03	BUFFERYARD	HOA	HOA
J-5	PUD	0.25	BUFFERYARD	HOA	HOA
K-1	PUD	0.20	OPEN SPACE	HOA	HOA
K-2	PUD	2.04	OPEN SPACE	HOA	HOA
K-3	PUD	0.13	OPEN SPACE	HOA	HOA
K-4	PUD	0.28	OPEN SPACE	HOA	HOA
K-5	PUD	0.20	OPEN SPACE	HOA	HOA
K-6	PUD	2.05	OPEN / REC	HOA	HOA
K-7	PUD	1.77	OPEN SPACE	HOA	HOA
K-8	PUD	0.10	OPEN SPACE	HOA	HOA
K-9	PUD	2.92	OPEN SPACE	HOA	HOA
K-10	PUD	0.18	OPEN SPACE	HOA	HOA
K-11	PUD	0.23	OPEN SPACE	HOA	HOA
K-12	PUD	0.28	OPEN SPACE	HOA	HOA
L-1	PUD	2.33	RETENTION	HOA	HOA
L-2	PUD	2.88	RETENTION	HOA	HOA
L-3	PUD	2.48	RETENTION	HOA	HOA
M-1	PUD	0.08	LIFT STATION	ORANGE CO.	ORANGE CO.
N-1	PUD	0.80	RECREATION	HOA	HOA
O-1	PUD	0.51	PARKING/ROW	HOA	HOA
P-1 (Private R.O.W.)	PUD	13.28	ROW	HOA	HOA
TOTAL		69.38			

Parcel ID:
28-21-28-0000-00-010
Owner:
Orange County BBC
Zoning: A-1

Parcel ID:
32-21-28-0235-00-001
Owner:
Apopka Woods Homeowners AssoC.
Zoning: XXXX

207

Apopka Woods Subdivision
Plat Book 86, Page 123
ZONING: R-2
FLU: RES. LOW

DATE	REVISIONS
4-20-17	1 REV PER DRC COMMENTS
6-28-17	2 REV PER DRC COMMENTS

EVANS ENGINEERING, INC.
LAND PLANNING
CERTIFICATE OF AUTHORIZATION NO. 6788
DAVID L. EVANS
FLORIDA: REG. NO. 46484
DATE: NOV 13, 2017

EVANS ENGINEERING, INC.
LAND PLANNING
CERTIFICATE OF AUTHORIZATION NO. 6788
719 IRMA AVENUE
ORLANDO, FLORIDA 32803
(407) 872-1515
WWW.EVANSENGINEERING.COM
CERTIFICATE OF AUTHORIZATION NO. 00005788

OAK POINTE
FOR
THOMPSON HILLS ESTATES LLC
FLORIDA
CITY OF APOPKA

MASTER SITE PLAN

DRAWN:
TVW / MWK
CHECKED:
MPG
DATE:
JULY 2017
SCALE:
1" = 100'
JOB #:
25801
SHEET #:

4.0
OF SHEETS

J:\08151801 - Oak Point\Orange\Plan & Map\32801.dwg - Master Site Plan.dwg (A-D) Printed on: Nov 13, 2017 - 11:46am by: jbarrett



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: April 4, 2018
 FROM: Community Development
 EXHIBITS: Exhibit "A" – Summary
 Ordinance No. 2640
 Vicinity Map

SUBJECT: 2018 ANNEXATION – CYCLE NO. 2

REQUEST: ORDINANCE NO. 2640 – FIRST READING – JANINE ROCHELLE EDMONDSON AND RICHARD DONALD EDMONDSON; AND HOLD OVER FOR SECOND READING & ADOPTION.

SUMMARY:

OWNERS: Janine Rochelle Edmondson and Richard Donald Edmondson
LOCATION: 3904 Plymouth Sorrento Road
LAND USE: Refer to Exhibit "A"
EXISTING USE: Refer to Exhibit "A"
TRACT SIZE: 1.00 +/- acre

ADDITIONAL COMMENTS: Abutting current boundaries of the City of Apopka, the subject site is consistent with Florida Statutes addressing annexation of unincorporated lands into a municipality. The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. Assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on March 12, 2018.

DULY ADVERTISED:
 March 16, 2018 (Apopka Chief)
 April 6, 2018 (Apopka Chief)

PUBLIC HEARING SCHEDULE:
 April 4, 2018 (1:30 pm) - City Council 1st Reading
 April 18, 2018 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the annexation for property owned by Janine Rochelle Edmondson and Richard Donald Edmondson.

Accept the First Reading of Ordinance No. 2640, and Hold it Over for Second Reading and Adoption on April 18, 2018.

ORDINANCE NO. 2640

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY JANINE ROCHELLE EDMONDSON AND RICHARD DONALD EDMONDSON, AND LOCATED AT 3904 PLYMOUTH SORRENTO ROAD; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Janine Rochelle Edmondson and Richard Donald Edmondson., owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 3904 Plymouth Sorrento Road; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling **1.00 +/- acre**, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Property Description:

N 105.67 FT OF S 255.67 FT OF S1/2 OF N1/2 OF E 1/3 OF NE1/4 OF NE1/4 SEC 24-20-27
(LESS E 30 FT FOR R/W)
(Parcel ID 24-20-27-0000-00-085, 3904 Plymouth Sorrento Road) Containing 1.00 +/- acres.

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the

ORDINANCE NO. 2640

PAGE 2

validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: April 4, 2018

READ SECOND TIME
AND ADOPTED: April 18, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: March 16, 2018 and April 6, 2018

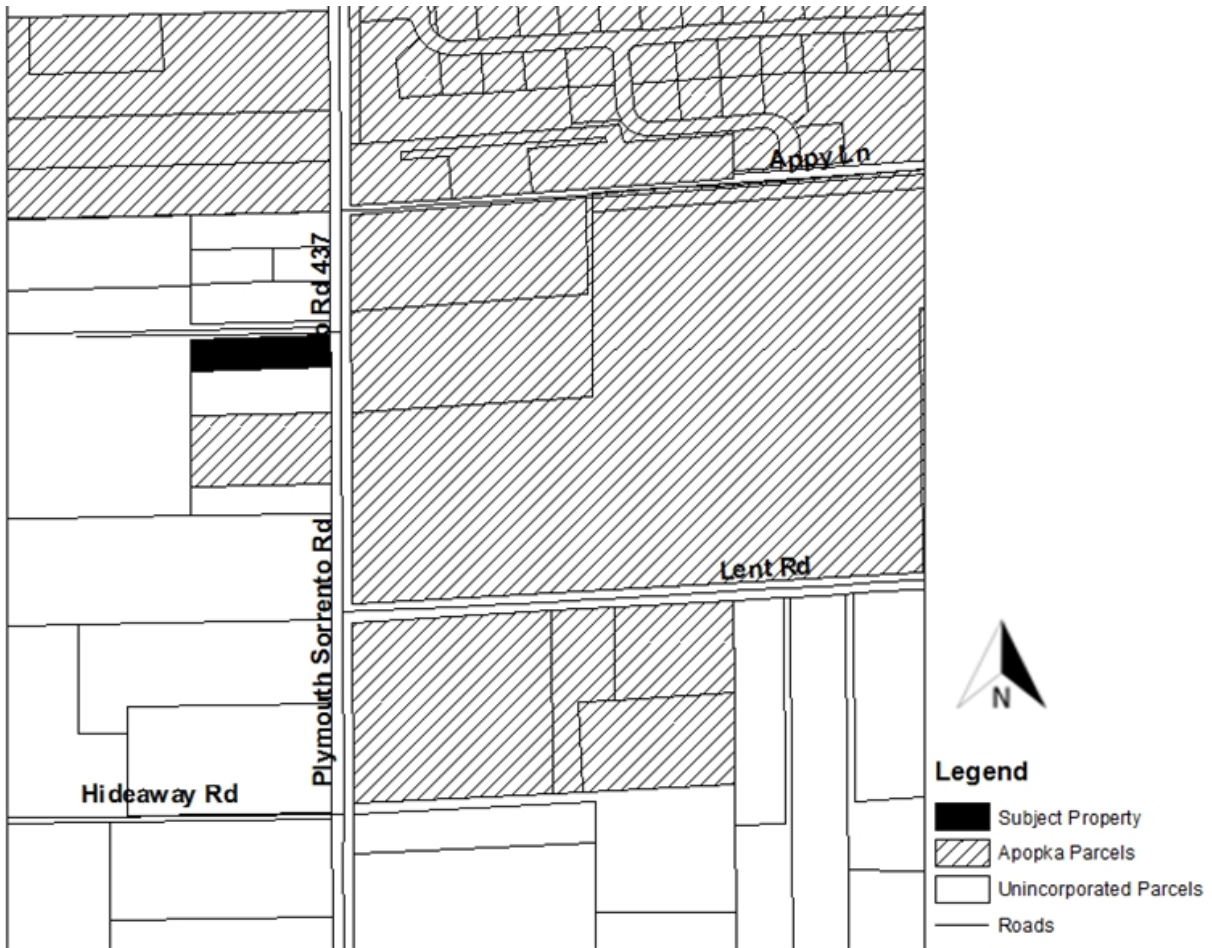
EXHIBIT "A"

Annexation

**Janine Rochelle Edmondson and Richard Donald Edmondson
3904 Plymouth Sorrento Road**

**Parcel ID No.: 24-20-27-0000-00-085
Total Acres: 1.00 +/-**

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: April 4, 2018
 FROM: Community Development
 EXHIBITS: Exhibit "A" – Summary
 Ordinance No. 2641
 Vicinity Map

SUBJECT: 2018 ANNEXATION – CYCLE NO. 2

REQUEST: ORDINANCE NO. 2641 – FIRST READING – LYNN R. FONTAINE; AND HOLD OVER FOR SECOND READING & ADOPTION.

SUMMARY:

OWNER: Lynn R. Fontaine
 LOCATION: 4353 Mcdonald Gley Road
 LAND USE: Refer to Exhibit "A"
 EXISTING USE: Refer to Exhibit "A"
 TRACT SIZE: 5.2 +/- acre

ADDITIONAL COMMENTS: Abutting current boundaries of the City of Apopka, the subject site is consistent with Florida Statutes addressing annexation of unincorporated lands into a municipality. The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. Assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on March 12, 2018.

DULY ADVERTISED:
 March 16, 2018 (Apopka Chief)
 April 6, 2018 (Apopka Chief)

PUBLIC HEARING SCHEDULE:
 April 4, 2018 (1:30 pm) - City Council 1st Reading
 April 18, 2018 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the annexation for property owned by Lynn R. Fontaine.

Accept the First Reading of Ordinance No. 2642, and Hold it Over for Second Reading and Adoption on April 18, 2018.

ORDINANCE NO. 2641

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY LYNN R. FONTAINE, AND LOCATED AT 4353 MCDONALD GLEY ROAD; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Lynn R. Fontaine, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 4353 McDonald Gley Road; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling 5.2 +/- acre, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Property Description:

E1/2 OF SW1/4 OF NE1/4 OF NE1/4 (LESS W 150 FT) & W 165 FT OF SE1/4 OF NE1/4 OF NE1/4 OF SEC 35-30-37
(Parcel ID 35-20-27-0000-00-037, 4353 McDonald Gley Road) Containing 5.2 +/- acres.

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

ORDINANCE NO. 2641

PAGE 2

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: April 4, 2018

READ SECOND TIME
AND ADOPTED: April 18, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

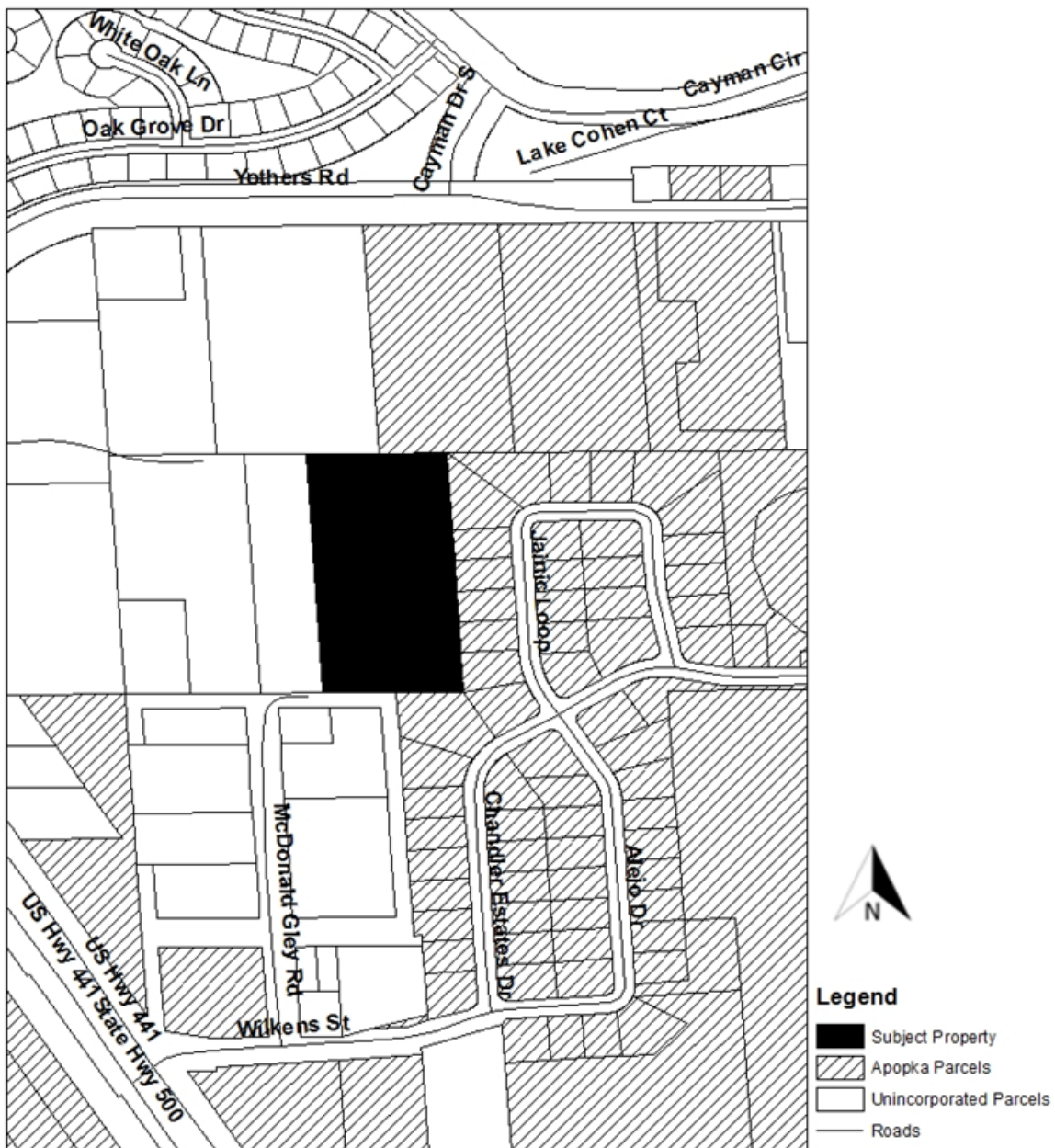
DULY ADVERTISED FOR PUBLIC HEARING: March 16, 2018 and April 6, 2018

EXHIBIT "A"

Annexation
Lynn R. Fontaine
4353 McDonald Gley Road

Parcel ID No.: 35-20-27-0000-00-037
Total Acres: 5.2 +/-

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: April 4, 2018
 FROM: Community Development
 EXHIBITS: Exhibit "A" – Summary
 Ordinance No. 2642
 Vicinity Map

SUBJECT: 2018 ANNEXATION – CYCLE NO. 2

REQUEST: ORDINANCE NO. 2641 – FIRST READING – SUNTRUST BANK; AND HOLD OVER FOR SECOND READING & ADOPTION.

SUMMARY:

OWNER: Suntrust Bank
 LOCATION: 920 East Semoran Boulevard
 LAND USE: Refer to Exhibit "A"
 EXISTING USE: Refer to Exhibit "A"
 TRACT SIZE: 0.37 +/- acre

ADDITIONAL COMMENTS: Abutting current boundaries of the City of Apopka, the subject site is consistent with Florida Statutes addressing annexation of unincorporated lands into a municipality. The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. Assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on March 12, 2018.

DULY ADVERTISED:
 March 16, 2018 (Apopka Chief)
 April 6, 2018 (Apopka Chief)

PUBLIC HEARING SCHEDULE:
 April 4, 2018 (1:30 pm) - City Council 1st Reading
 April 18, 2018 (7:00 pm) - City Council 2nd Reading and Adoption

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the annexation for property owned by Suntrust Bank.

Accept the First Reading of Ordinance No. 2642, and Hold it Over for Second Reading and Adoption on April 18, 2018.

ORDINANCE NO. 2642

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY SUNTRUST BANK, AND LOCATED AT 920 EAST SEMORAN BOULEVARD, PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, Suntrust Bank, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 920 East Semoran Boulevard; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling 5.2 +/- acre, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Property Description:

BLUE BIRD PARK X/58 LOT 5 (LESS N 82 FT RD R/W)
(Parcel ID 11-21-28-0750-00-050, 920 East Semoran Boulevard) Containing 0.37 +/- acres.

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

ORDINANCE NO. 2641

PAGE 2

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: April 4, 2018

READ SECOND TIME
AND ADOPTED: April 18, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

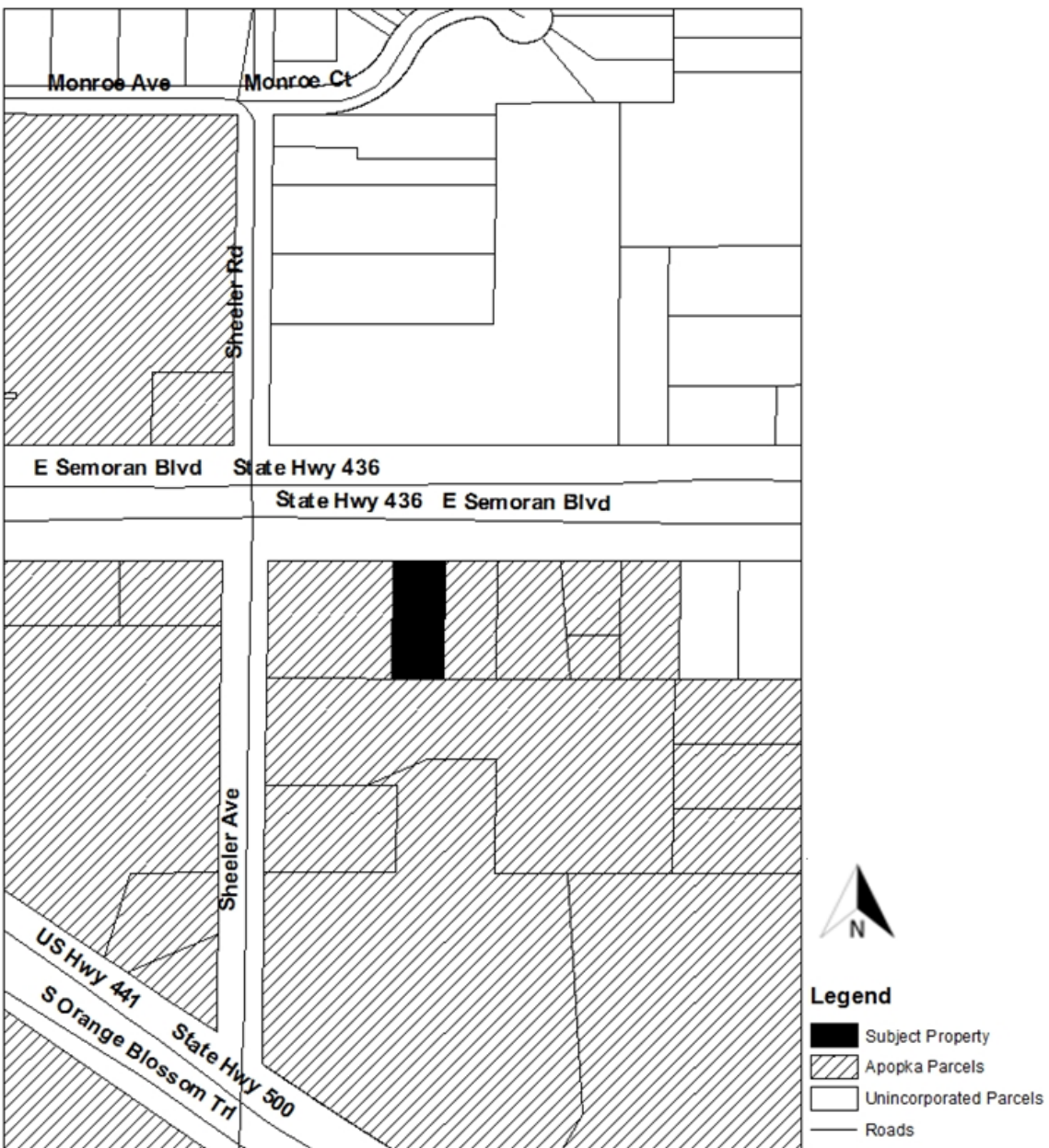
DULY ADVERTISED FOR PUBLIC HEARING: March 16, 2018 and April 6, 2018

EXHIBIT "A"

Annexation
Suntrust Bank
920 East Semoran Boulevard

Parcel ID No.: 11-21-28-0750-00-050
Total Acres: 0.37 +/-

VICINITY MAP





CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: April 4, 2018
FROM: Community Development
EXHIBITS: Ordinance No. 2643
Annexation Cases
Vicinity Map

SUBJECT: 2018 ANNEXATION – CYCLE NO. 2 ROADWAY ANNEXATIONS

REQUEST: ORDINANCE NO. 2643 - FIRST READING – ANNEXATION - KING STREET RIGHT-OF-WAY, PETERSON ROAD (EAST OF SR 429), AND PETERSON ROAD (WEST OF SR 429); AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY:

OWNER: Orange County Board of County Commissioners
APPLICANT: City of Apopka Community Development Department
LOCATION: King Street Right-of-Way located east of SR 429 and south of West Orange Avenue; Peterson Street Right-of-Way located east of SR 429; and Peterson Street Right-of-Way located west of SR 429
EXISTING USE: Public Road
TRACT SIZE: King Street: 1.859 +/- acres; Peterson Road (east of SR 429): 2.773 +/- acres; Peterson Road (west of SR 429): 0.674 +/- acre; Total 5.603 +/- acres/

ADDITIONAL COMMENTS: The proposed annexation will result in a change of ownership for a portion of King Street Right-of-Way, Peterson Road east of SR 429 and Peterson Road west of SR 429 from the Orange County Board of County Commissioners to the City of Apopka.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on March 12, 2018.

DULY ADVERTISED:

March 16, 2018
April 6, 2018

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

PUBLIC HEARING SCHEDULE:

April 4, 2018 (1:30 pm) - City Council 1st Reading

April 18, 2018 (7:00 pm) - City Council 2nd Reading and Adoption

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the annexation for King Street Right-of-Way, Peterson Road east of SR 429 and Peterson Road west of SR 429.

Accept the First Reading of Ordinance No. 2643 and Hold Over for Second Reading and Adoption on April 18, 2018

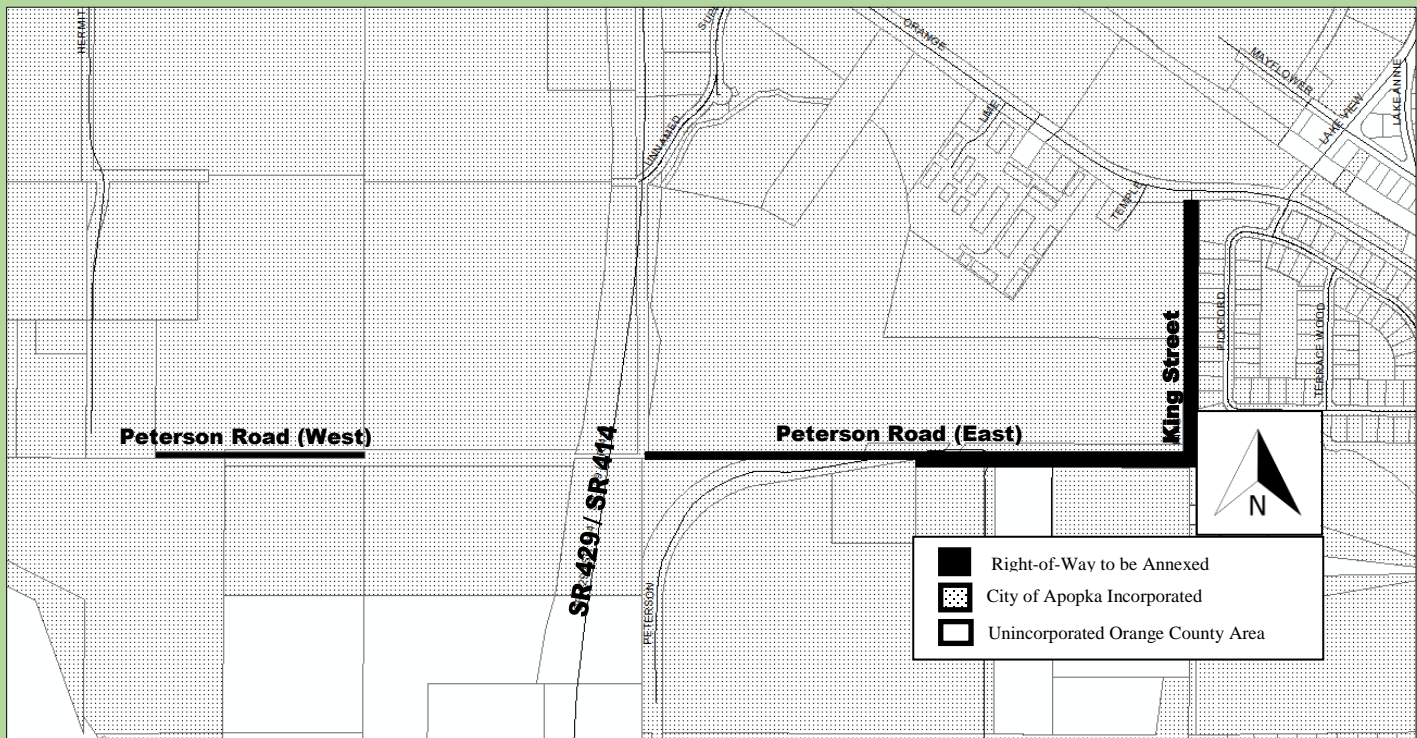
ANNEXATION CASES
Proposed Annexations:

TOTAL ACRES: 5.603 +/-

ORD. NO.	ITEM NO.	OWNER'S NAME	LOCATION	PARCEL NUMBER	ACRES +/-	EXISTING USE	FUTURE LAND USE (COUNTY)
2643	A	Orange County	King Street	N/A	1.859	Public Road	Public Road
	B	Orange County	Peterson Road (East of SR 429)	N/A	2.773	Public Road	Public Road
	C	Orange County	Peterson Road (West of SR 429)	N/A	0.674	Public Road	Public Road

VICINITY MAP

King Street Public Right-of-Way; Peterson Street Right-of-Way located east of SR 429; and Peterson Street Right-of-Way located west of SR 429



(THIS MAP IS FOR REFERENCE PURPOSES ONLY AND IS NOT TO SCALE)

ORDINANCE NO. 2643

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED PUBLIC RIGHTS-OF-WAY KNOWN AS KING STREET, PETERSON ROAD (EAST), AND PETERSON ROAD (WEST), SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, LOCATED GENERALLY SOUTH OF WEST ORANGE AVENUE AND EAST AND WEST OF SR 429, AND COMPRISED OF APPROXIMATELY 5.306 ACRES; OWNED BY ORANGE COUNTY BOARD OF COUNTY COMMISSIONERS; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the Orange County Board of County Commissioners has requested that the City of Apopka, Florida, annex King Street Right-of-Way located east of SR 429 and south of West Orange Avenue and two portions of Peterson Road Right-of-Way located east and west of SR 429; and

WHEREAS, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

WHEREAS, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: That the following described properties, being situated in Orange County, Florida, totaling 5.306 +/- acre, and graphically depicted by the attached Exhibit "A", Exhibit "B", and Exhibit "C" are hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Descriptions: King Street: 1.859 +/- acres; Peterson Road (east of SR 429): 2.773 +/- acres; Peterson Road (west of SR 429): 0.674 +/- acre; more specifically described within Exhibit "A", Exhibit "B", and Exhibit "C".

SECTION II: That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

SECTION III: That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

SECTION IV: That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.

ORDINANCE NO. 2643
PAGE 2

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: April 4, 2018

READ SECOND TIME
AND ADOPTED: April 18, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: March 16, 2018, April 6, 2018

Exhibit - A

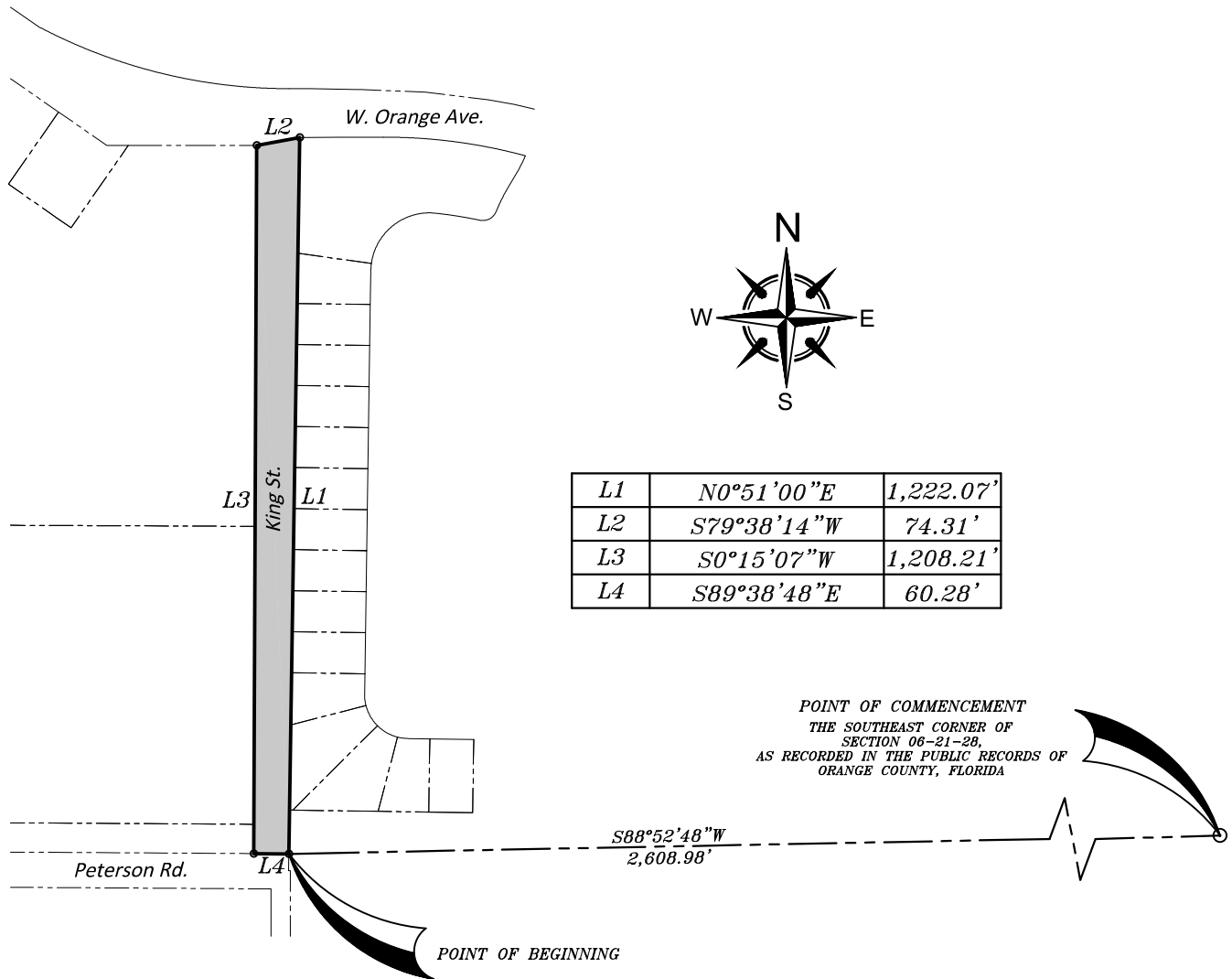
Description of public "Right-of-Way": King St.

Owner: Orange County

A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 06-21-28, as recorded in the Public Records of Orange County, Florida; thence South $88^{\circ}52'48''$ West, a distance of 2,608.98 feet along the Southern line of said section; said point being the POINT OF BEGINNING; thence North $0^{\circ}51'00''$ East, a distance of 1,222.07 feet; thence South $79^{\circ}38'14''$ West, a distance of 74.31 feet; thence South $0^{\circ}15'07''$ West, a distance of 1,208.21 feet; thence South $89^{\circ}38'48''$ East, a distance of 60.28 feet.

Containing 80,957.86 square feet (1.859-Acres), more or less.



This document does not represent a Boundary Survey.

Exhibit - B

Description of public "Right-of-Way": Peterson Rd.

Owner: Orange County

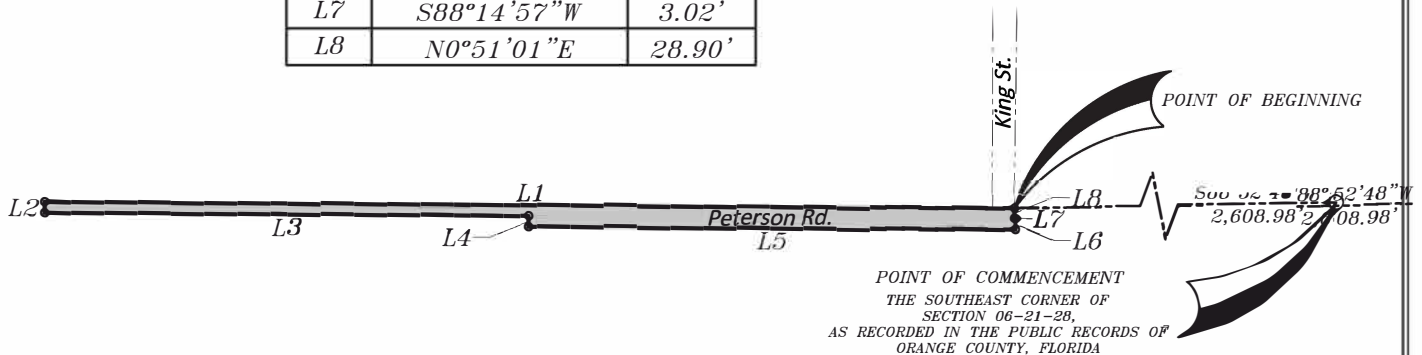
A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 06-21-28, as recorded in the Public Records of Orange County, Florida; thence South 88°52'48" West, a distance of 2,608.98 feet along the Southern line of said section; said point being the POINT OF BEGINNING; thence North 89°38'48" West, a distance of 2,678.34 feet; thence South 0°12'23" East, a distance of 30.15 feet; thence South 89°39'10" East, a distance of 1,336.41 feet; thence South 0°09'19" West, a distance of 30.00 feet; thence South 89°38'48" East, a distance of 1,344.44 feet; thence North 0°05'55" East, a distance of 31.22 feet; thence South 88°14'57" West, a distance of 3.02 feet; thence North 0°51'01" East, a distance of 28.90 feet.

Containing 120,775.47 square feet (2.773-Acres), more or less.



L1	N89°38'48"W	2,678.34'
L2	S0°12'23"E	30.15'
L3	S89°39'10"E	1,336.41'
L4	S0°09'19"W	30.00'
L5	S89°38'48"E	1,344.44'
L6	N0°05'55"E	31.22'
L7	S88°14'57"W	3.02'
L8	N0°51'01"E	28.90'



This document does not represent a Boundary Survey.

Exhibit - C

Description of public "Right-of-Way": Peterson Rd.

Owner: Orange County

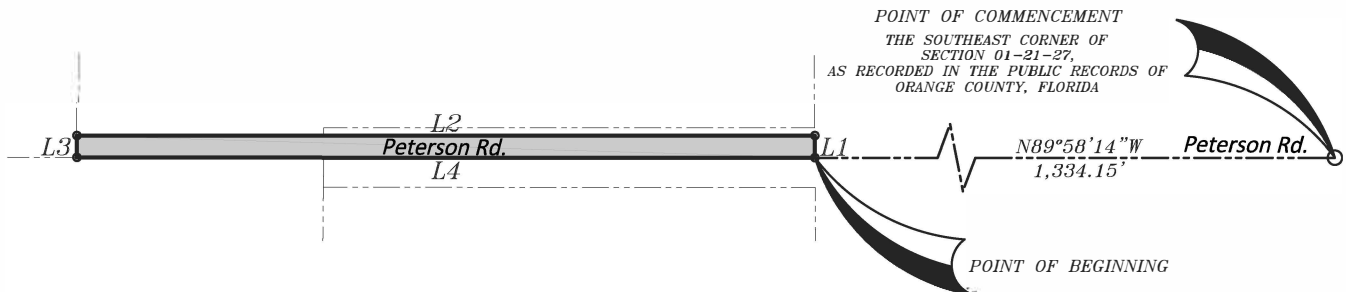
A public "Right-of-Way" as recorded in the Public Records of Orange County, Florida, being more particularly described as follows:

Commence at the Southeast corner of Section 01-21-27, as recorded in the Public Records of Orange County, Florida; thence North $89^{\circ}58'14''$ West, a distance of 1,334.15 feet along the Southern line of said section; said point being the POINT OF BEGINNING; thence North $0^{\circ}00'00''$ East, a distance of 29.52 feet; thence South $89^{\circ}59'50''$ West, a distance of 1,000.52 feet; thence South $0^{\circ}12'57''$ West, a distance of 29.17 feet; thence South $89^{\circ}58'57''$ East, a distance of 1,000.63 feet.

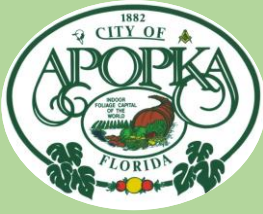
Containing 29,362.33 square feet (0.674-Acres), more or less.



L1	$N0^{\circ}00'00''E$	29.52'
L2	$S89^{\circ}59'50''W$	1,000.52'
L3	$S0^{\circ}12'57''W$	29.17'
L4	$S89^{\circ}58'57''E$	1,000.63'



This document does not represent a Boundary Survey.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Business

MEETING OF: April 4, 2018
 FROM: Public Services
 EXHIBITS: Resolution No. 2018-04

SUBJECT: RESOLUTION NO. 2018-04 GRANTING A NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA TO CONTAINER RENTAL COMPANY

REQUEST: ADOPT RESOLUTION NO. 2018-04

SUMMARY:

Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, provides for private refuse collection service through the granting of a non-exclusive franchise for roll-off container collection in the City. The minimum amount the City is to receive is \$960.00 per year for this agreement.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Adopt Resolution No. 2018-04

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

RESOLUTION NO. 2018-04

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, GRANTING A NON-EXCLUSIVE FRANCHISE TO CONTAINER RENTAL COMPANY., TO PROVIDE "ROLL-OFF" CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA, FLORIDA, PURSUANT TO CITY OF APOPKA, CODE OF ORDINANCES, CHAPTER 66, ARTICLE III; PROVIDING FOR THE TERM OF YEARS FOR THE FRANCHISE; PROVIDING FOR FRANCHISE FEE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, Florida, provides for private refuse collection service through the granting of non-exclusive franchise(s) for roll-off containers, and is hereinafter referred to as Chapter 66, Article III; and

WHEREAS, Chapter 66, Article III grants the City Council of the City of Apopka, Florida, the power, right and authority to contract by resolution with persons thereby granting non-exclusive franchise(s) to provide "roll-off" container collection and disposal of waste within the City of Apopka, Florida; and

WHEREAS, Chapter 66, Article III provides for City requirements, outlining Franchisee's duties, providing the terms and conditions under which such franchise shall operate.

WHEREAS, Chapter 66, Article III enables the City Council of the City of Apopka, Florida, to enter into a contract with persons desiring a franchise to provide roll-off container collection and disposal of waste within the City of Apopka; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apopka, Florida, that:

SECTION I. GRANT AND TERM.

That the City Council of the City of Apopka, Florida, extends a non-exclusive franchise to:

CONTAINER RENTAL COMPANY

a Florida corporation whose business address is:

2715 Staten Road
Orlando, FL 32804

Hereinafter referred to as Grantee, to provide roll-off container collection and disposal of waste within the corporate limits of the City of Apopka, Florida, under the terms set out in Chapter 66, Article III.

The term of this franchise will begin on April 4, 2018 and end on April 3, 2020 (The term may be extended for an additional two (2) years, at the sole option of the City, by written notice to the franchisee not less than thirty (30) days prior to the expiration of the current term.)

SECTION II. COMPLIANCE WITH ORDINANCE AND RESOLUTION.

That the City of Apopka, Florida, and the Grantee of the franchise shall comply with all of the terms and conditions as set forth in Chapter 66, Article III, and this Resolution. A failure by the Grantee to comply with the terms and conditions of Chapter 66, Article III and/or all ordinances and resolutions of the City of Apopka, and/or the laws of the State of Florida or the United States, shall be grounds for the immediate revocation of the Franchise.

Payment of Franchise Fees shall be made payable to the City of Apopka, and mailed to

City of Apopka,
Attention: Accounts Payable
120 E Main St
Apopka, Florida, 32703.

The fee for administrative and inspection costs and expenses shall be credited against the charges.

SECTION III. ENFORCEMENT.

The Mayor or his designee is hereby authorized to enforce the non-exclusive franchise granted by this Resolution for the City of Apopka.

SECTION IV. EFFECTIVE DATE

This Resolution shall take effect immediately upon adoption, and the non-exclusive franchise granted by this Resolution shall be binding immediately on the City and the Grantee upon the date those proper officers or authorities of each have duly executed this Resolution.

APPROVED by the City Council of the City of Apopka, Florida, and this 4th day of April 2018.

CITY OF APOPKA, FLORIDA

ATTEST:

Joseph E. Kilsheimer, Mayor

Linda F. Goff, City Clerk

ACCEPTANCE BY FRANCHISEE

The foregoing RESOLUTION NO. 2018-04 and the NON-EXCLUSIVE FRANCHISE provided for therein, and all the terms and conditions thereof, are hereby accepted, approved, and agreed to this _____ day of April, 2018

CONTAINER RENTAL COMPANY.

Signature

Printed Name

Title

STATE OF FLORIDA
COUNTY OF ORANGE

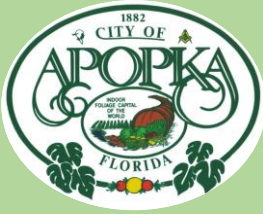
Sworn to and subscribed before me this _____ day of April 2018, by
_____.

Notary Public, State of Florida

Printed Name of Notary

Personally Known _____ **OR** Produced Identification _____

Type of Identification Produced _____



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Business

MEETING OF: April 4, 2018
 FROM: Public Services
 EXHIBITS: Resolution No. 2018-05

SUBJECT: RESOLUTION NO. 2018-05 GRANTING A NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA TO WASTE PRO USA, INC.

REQUEST: ADOPT RESOLUTION NO. 2018-05

SUMMARY:

Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, provides for private refuse collection service through the granting of a non-exclusive franchise for roll-off container collection in the City. The minimum amount the City is to receive is \$960.00 per year for this agreement.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Adopt Resolution No. 2018-05.

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

RESOLUTION NO. 2018-05

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, GRANTING A NON-EXCLUSIVE FRANCHISE TO WASTE PRO USA, INC., TO PROVIDE "ROLL-OFF" CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA, FLORIDA, PURSUANT TO CITY OF APOPKA, CODE OF ORDINANCES, CHAPTER 66, ARTICLE III; PROVIDING FOR THE TERM OF YEARS FOR THE FRANCHISE; PROVIDING FOR FRANCHISE FEE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, Florida, provides for private refuse collection service through the granting of non-exclusive franchise(s) for roll-off containers, and is hereinafter referred to as Chapter 66, Article III; and

WHEREAS, Chapter 66, Article III grants the City Council of the City of Apopka, Florida, the power, right and authority to contract by resolution with persons thereby granting non-exclusive franchise(s) to provide "roll-off" container collection and disposal of waste within the City of Apopka, Florida; and

WHEREAS, Chapter 66, Article III provides for City requirements, outlining Franchisee's duties, providing the terms and conditions under which such franchise shall operate.

WHEREAS, Chapter 66, Article III enables the City Council of the City of Apopka, Florida, to enter into a contract with persons desiring a franchise to provide roll-off container collection and disposal of waste within the City of Apopka; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apopka, Florida, that:

SECTION I. GRANT AND TERM.

That the City Council of the City of Apopka, Florida, extends a non-exclusive franchise to:

WASTE PRO USA, INC.

a Florida corporation whose business address is:

3705 Saint John's Parkway
Sanford, FL 32771-6369

Hereinafter referred to as Grantee, to provide roll-off container collection and disposal of waste within the corporate limits of the City of Apopka, Florida, under the terms set out in Chapter 66, Article III.

The term of this franchise will begin on April 4, 2018 and end on April 3, 2020 (The term may be extended for an additional two (2) years, at the sole option of the City, by written notice to the franchisee not less than thirty (30) days prior to the expiration of the current term.)

SECTION II. COMPLIANCE WITH ORDINANCE AND RESOLUTION.

That the City of Apopka, Florida, and the Grantee of the franchise shall comply with all of the terms and conditions as set forth in Chapter 66, Article III, and this Resolution. A failure by the Grantee to comply with the terms and conditions of Chapter 66, Article III and/or all ordinances and resolutions of the City of Apopka, and/or the laws of the State of Florida or the United States, shall be grounds for the immediate revocation of the Franchise.

Payment of Franchise Fees shall be made payable to the City of Apopka, and mailed to

City of Apopka,
Attention: Accounts Payable
120 E Main St
Apopka, Florida, 32703

The fee for administrative and inspection costs and expenses shall be credited against the charges.

SECTION III. ENFORCEMENT.

The Mayor or his designee is hereby authorized to enforce the non-exclusive franchise granted by this Resolution for the City of Apopka.

SECTION IV. EFFECTIVE DATE

This Resolution shall take effect immediately upon adoption, and the non-exclusive franchise granted by this Resolution shall be binding immediately on the City and the Grantee upon the date those proper officers or authorities of each have duly executed this Resolution.

APPROVED by the City Council of the City of Apopka, Florida, and this 4th day of April 2018.

CITY OF APOPKA, FLORIDA

ATTEST:

Joseph E. Kilsheimer, Mayor

Linda F. Goff, City Clerk

ACCEPTANCE BY FRANCHISEE

The foregoing RESOLUTION NO. 2018-05 and the NON-EXCLUSIVE FRANCHISE provided for therein, and all the terms and conditions thereof, are hereby accepted, approved, and agreed to this _____ day of April, 2018

WASTE PRO USA, INC.

Signature

Printed Name

Title

STATE OF FLORIDA
COUNTY OF ORANGE

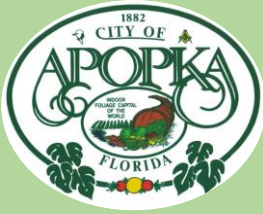
Sworn to and subscribed before me this _____ day of April 2018, by
_____.

Notary Public, State of Florida

Printed Name of Notary

Personally Known _____ **OR** Produced Identification _____

Type of Identification Produced _____



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Business

MEETING OF: April 4, 2018
FROM: Public Services
EXHIBITS: Resolution No. 2018-06

SUBJECT: RESOLUTION NO. 2018-06 GRANTING A NON-EXCLUSIVE FRANCHISE FOR ROLL-OFF CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA TO RANDY SUGGS, INC.

REQUEST: ADOPT RESOLUTION NO. 2018-06

SUMMARY:

Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, provides for private refuse collection service through the granting of a non-exclusive franchise for roll-off container collection in the City. The minimum amount the City is to receive is \$960.00 per year for this agreement.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Adopt Resolution No. 2018-06.

DISTRIBUTION

Mayor Kilsheimer
Commissioners
City Administrator
Community Development Director

Finance Director
HR Director
IT Director
Police Chief

Public Services Director
Recreation Director
City Clerk
Fire Chief

RESOLUTION NO. 2018-06

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, GRANTING A NON-EXCLUSIVE FRANCHISE TO RANDY SUGGS, INC., TO PROVIDE "ROLL-OFF" CONTAINER COLLECTION AND DISPOSAL OF WASTE IN THE CITY OF APOPKA, FLORIDA, PURSUANT TO CITY OF APOPKA, CODE OF ORDINANCES, CHAPTER 66, ARTICLE III; PROVIDING FOR THE TERM OF YEARS FOR THE FRANCHISE; PROVIDING FOR FRANCHISE FEE; PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 66, Article III, of the Code of Ordinances of the City of Apopka, Florida, provides for private refuse collection service through the granting of non-exclusive franchise(s) for roll-off containers, and is hereinafter referred to as Chapter 66, Article III; and

WHEREAS, Chapter 66, Article III grants the City Council of the City of Apopka, Florida, the power, right and authority to contract by resolution with persons thereby granting non-exclusive franchise(s) to provide "roll-off" container collection and disposal of waste within the City of Apopka, Florida; and

WHEREAS, Chapter 66, Article III provides for City requirements, outlining Franchisee's duties, providing the terms and conditions under which such franchise shall operate.

WHEREAS, Chapter 66, Article III enables the City Council of the City of Apopka, Florida, to enter into a contract with persons desiring a franchise to provide roll-off container collection and disposal of waste within the City of Apopka; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Apopka, Florida, that:

SECTION I. GRANT AND TERM.

That the City Council of the City of Apopka, Florida, extends a non-exclusive franchise to:

RANDY SUGGS, INC.

a Florida corporation whose business address is:

3403 Rock Springs Road
Apopka, FL 32712

Hereinafter referred to as Grantee, to provide roll-off container collection and disposal of waste within the corporate limits of the City of Apopka, Florida, under the terms set out in Chapter 66, Article III.

The term of this franchise will begin on April 4, 2018 and end on April 3, 2020 (The term may be extended for an additional two (2) years, at the sole option of the City, by written notice to the franchisee not less than thirty (30) days prior to the expiration of the current term.)

SECTION II. COMPLIANCE WITH ORDINANCE AND RESOLUTION.

That the City of Apopka, Florida, and the Grantee of the franchise shall comply with all of the terms and conditions as set forth in Chapter 66, Article III, and this Resolution. A failure by the Grantee to comply with the terms and conditions of Chapter 66, Article III and/or all ordinances and resolutions of the City of Apopka, and/or the laws of the State of Florida or the United States, shall be grounds for the immediate revocation of the Franchise.

Payment of Franchise Fees shall be made payable to the City of Apopka, and mailed to

City of Apopka
Attention: Accounts Payable
120 E Main St
Apopka, Florida, 32703

The fee for administrative and inspection costs and expenses shall be credited against the charges.

SECTION III. ENFORCEMENT.

The Mayor or his designee is hereby authorized to enforce the non-exclusive franchise granted by this Resolution for the City of Apopka.

SECTION IV. EFFECTIVE DATE

This Resolution shall take effect immediately upon adoption, and the non-exclusive franchise granted by this Resolution shall be binding immediately on the City and the Grantee upon the date those proper officers or authorities of each have duly executed this Resolution.

APPROVED by the City Council of the City of Apopka, Florida, and this 1st day of April 2018.

CITY OF APOPKA, FLORIDA

ATTEST:

Joseph E. Kilsheimer, Mayor

Linda F. Goff, City Clerk

ACCEPTANCE BY FRANCHISEE

The foregoing RESOLUTION NO. 2018-06 and the NON-EXCLUSIVE FRANCHISE provided for therein, and all the terms and conditions thereof, are hereby accepted, approved, and agreed to this _____ day of April, 2018

RANDY SUGGS, INC.

Signature

Printed Name

Title

STATE OF FLORIDA
COUNTY OF ORANGE

Sworn to and subscribed before me this _____ day of April 2018, by
_____.

Notary Public, State of Florida

Printed Name of Notary

Personally Known _____ **OR** Produced Identification _____

Type of Identification Produced _____